



City of Charleston

DESIGN REVIEW BOARD

March 2nd, 2020

4:30 PM

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

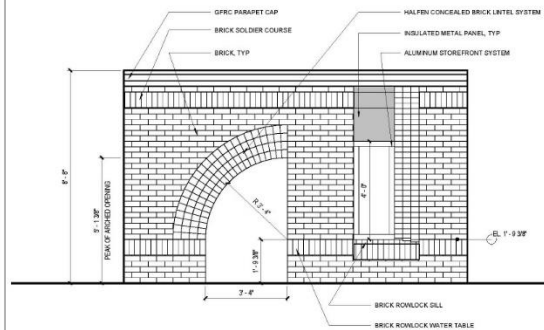
www.charleston-sc.gov/drbb

Agenda Item #1

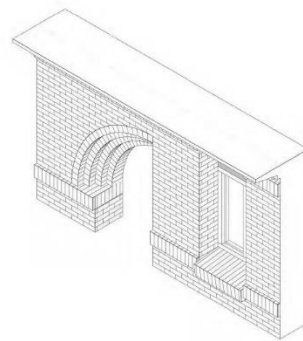
1835 SAVANNAH HWY

TMS # 350-05-00-072

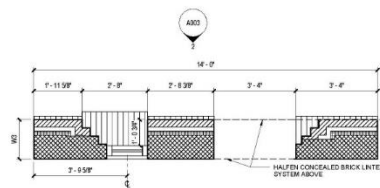
Request approval for a completed mock-up panel for a new fire station.



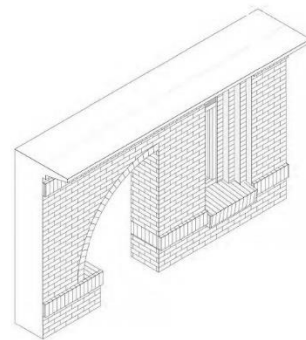
2 ELEVATION - SAMPLE PANEL
SCALE: 1/2" = 1'-0"



3 AXON - SAMPLE PANEL
SCALE:



1 PLAN - SAMPLE PANEL
SCALE: 1/2" = 1'-0"



4 AXON - SAMPLE PANEL
SCALE:

SHEET NOTES

1. SAMPLE PANEL SHALL BE CONSTRUCTED BY THE SAME SUBCONTRACTORS WORKING ON THE PROJECT AND MAINTAINED FOR THE DURATION OF THE PROJECT. MATERIALS USED IN THE SAMPLE PANEL ARE SUBJECT TO DRB (DESIGN REVIEW BOARD) APPROVAL.
2. SAMPLE PANEL SHALL BE CONSTRUCTED PER ARCHITECTURAL DETAILS AND SHALL PROVIDE ADEQUATE CUT AWAYS TO SHOW ALL WALL & ROOF DETAILING.
3. GENERAL CONTRACTOR IS TO INFORM THE ARCHITECT AND CITY 5-8 DAYS IN ADVANCE OF WHEN SAMPLE PANEL IS TO BE REVIEWED.
4. PER DRB GUIDELINES THE SAMPLE PANEL IS TO DEMONSTRATE FINAL QUALITY OF MATERIALS, DETAILING, JOINTS, ALL VISIBLE FLASHING CONDITIONS PREVALENT THROUGHOUT THE PROJECT, COLOR SELECTION, ETC.
5. GC TO PROVIDE BRICKS AS REQUIRED FOR SUPPORT OF MOCKUP.
6. INCLUDE EXTERIOR LIGHTING FIXTURES AND ALL PAVING AND HARDSCAPE MATERIALS WITH MOCKUP PANEL.
7. GENERAL CONTRACTOR TO PROVIDE SELECTED ON-SITE LOCATION OF THE SAMPLE PANEL MOCKUP FOR DRB APPROVAL PRIOR TO ITS CONSTRUCTION.
8. SEE CIVIL DRAWINGS FOR SAMPLE PANEL LOCATION. PANEL TO BE CONSTRUCTED FACING SOUTH.



147 Wapoco Creek Drive
Suite 400
Charleston, SC 29412
P 843.762.2222

Revision Date Description

THE CITY OF CHARLESTON
FIRE STATION 11
1835 Savannah Highway
Charleston, SC 29407

Project Number: 16102
Checked By: JGC
Drawn By: KMR
Date: 03/12/2018
Scale: 1/2" = 1'-0"

A003
SAMPLE PANEL

SCALE: 1/2" = 1'-0"























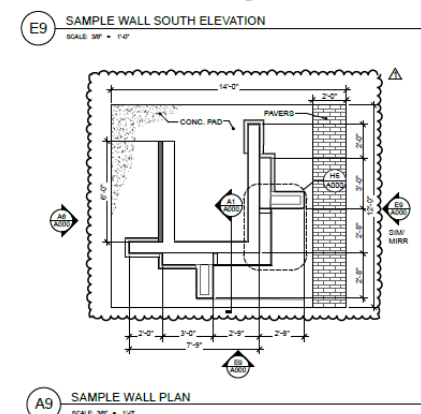
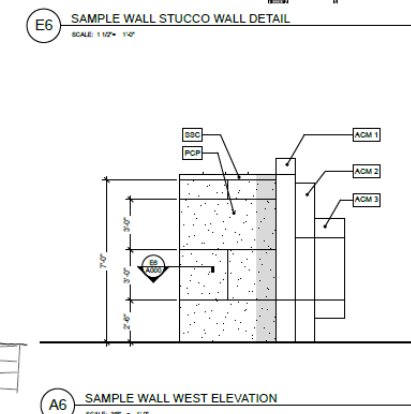
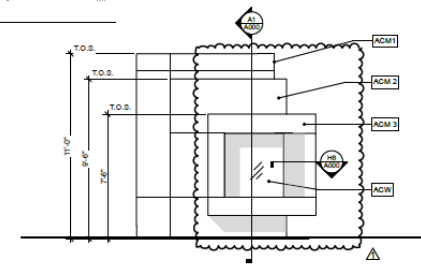
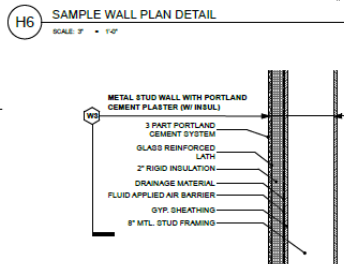
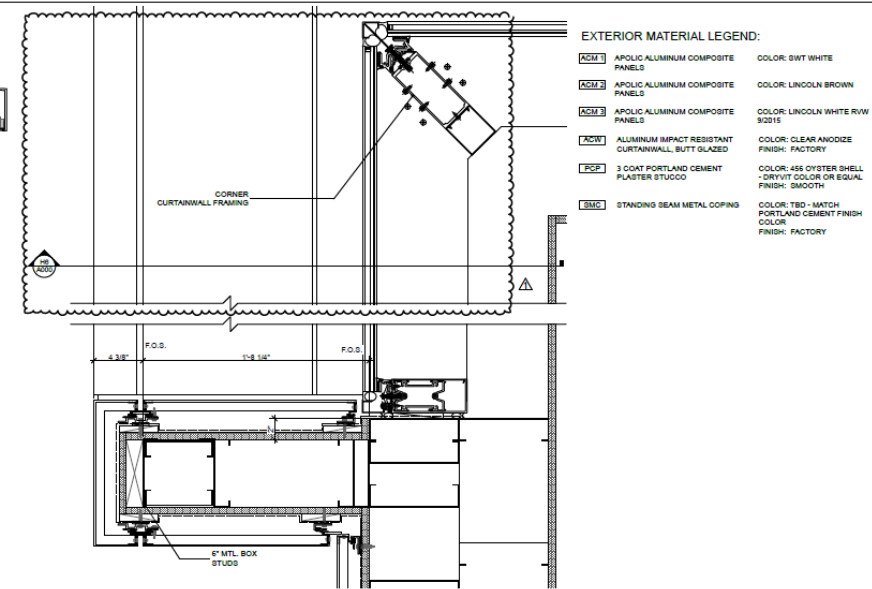
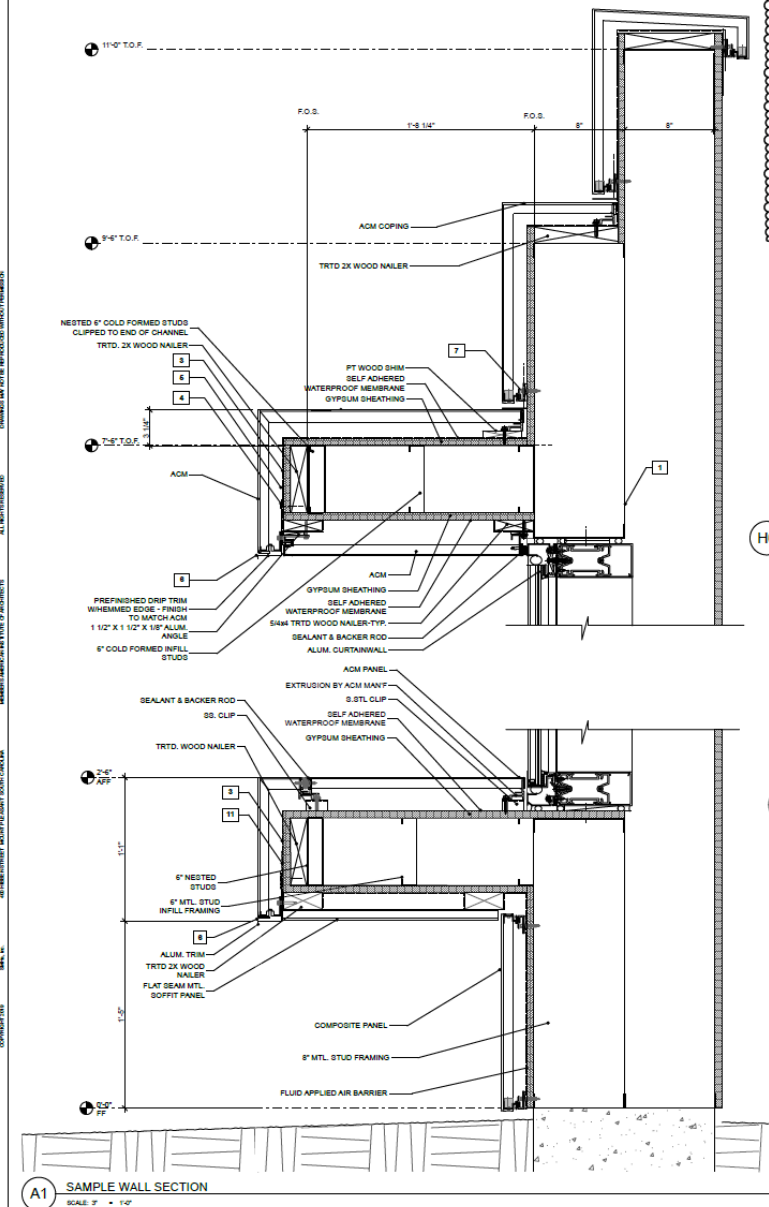


Agenda Item #2

1627 SAVANNAH HWY.

TMS # 350-06-00-115

Request approval for a completed mock-up panel for a new car dealership.



EXTERIOR MATERIAL LEGEND:

ACM-1	APOLIC ALUMINUM COMPOSITE PANELS	COLOR: SWT WHITE
ACM-2	APOLIC ALUMINUM COMPOSITE PANELS	COLOR: LINCOLN BROWN
ACM-3	APOLIC ALUMINUM COMPOSITE PANELS	COLOR: LINCOLN WHITE RWJ 92015
ACW	ALUMINUM IMPACT RESISTANT CURTAINWALL, BUTT GLAZED	COLOR: CLEAR ANODIZE FINISH: FACTORY
PCP	3 COAT PORTLAND CEMENT PLASTER STUCCO	COLOR: 455 OYSTER SHELL -DIRTY/ OIL COLOR OR EQUAL FINISH: SMOOTH
SMC	STANDING SEAM METAL COPING	COLOR: T8D - MATCH PORTLAND CEMENT FINISH COLOR FINISH: FACTORY



SMH
STUBBS MULDROW HERIN
architects


project number	1731.00
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**PALMETTO
LINCOLN
DEALERSHIP**

Charleston, South Carolina



CONSTRUCTION DOCUMENTS 05.28.19

 ORB / PERMIT REVIEW 7/26/19

SAMPLE WALL

A000

drawn by: JC, SG, CA print date: 8/16/19



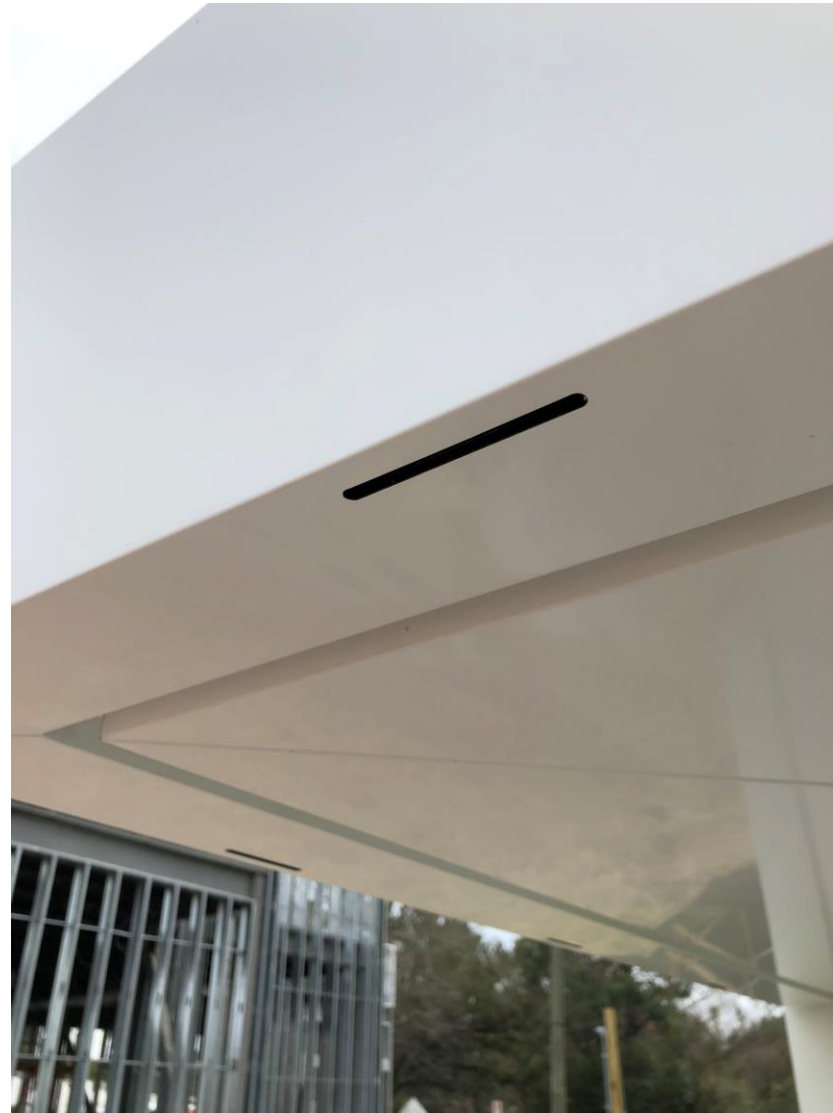
Palmetto Lincoln Dealership – Sample Wall Review
1627 Savannah Highway



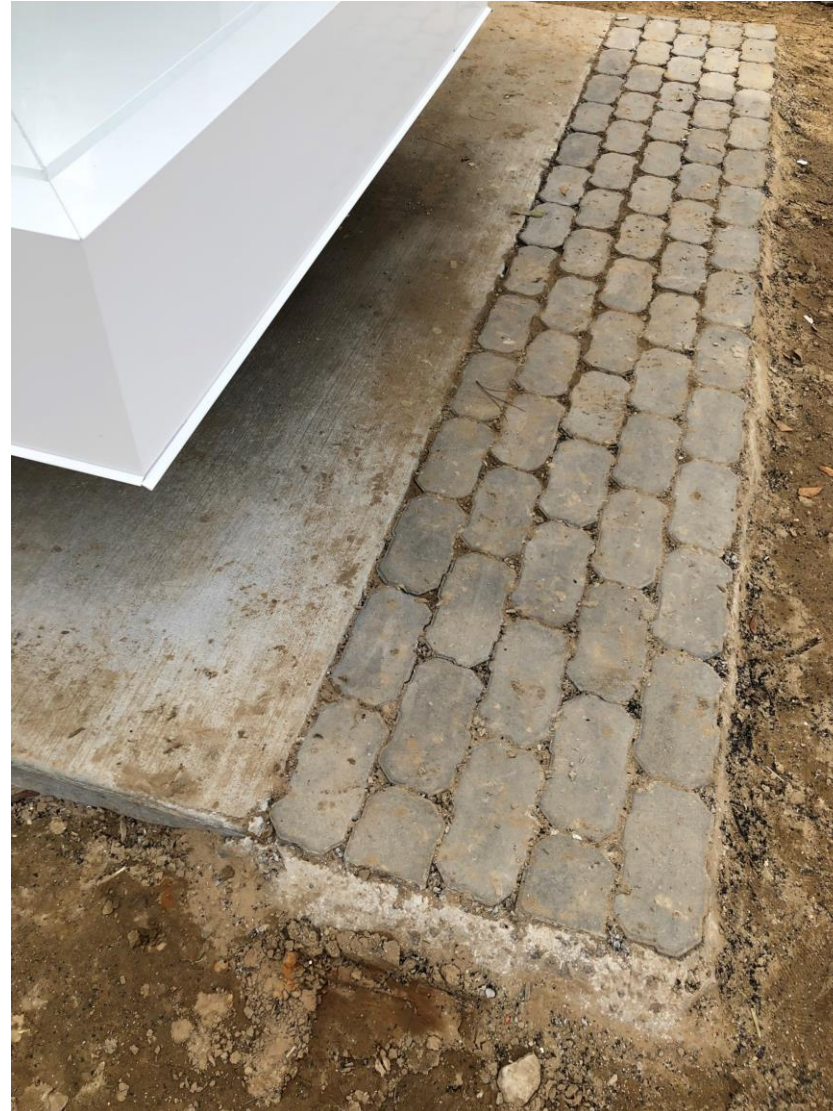
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Agenda Item #3

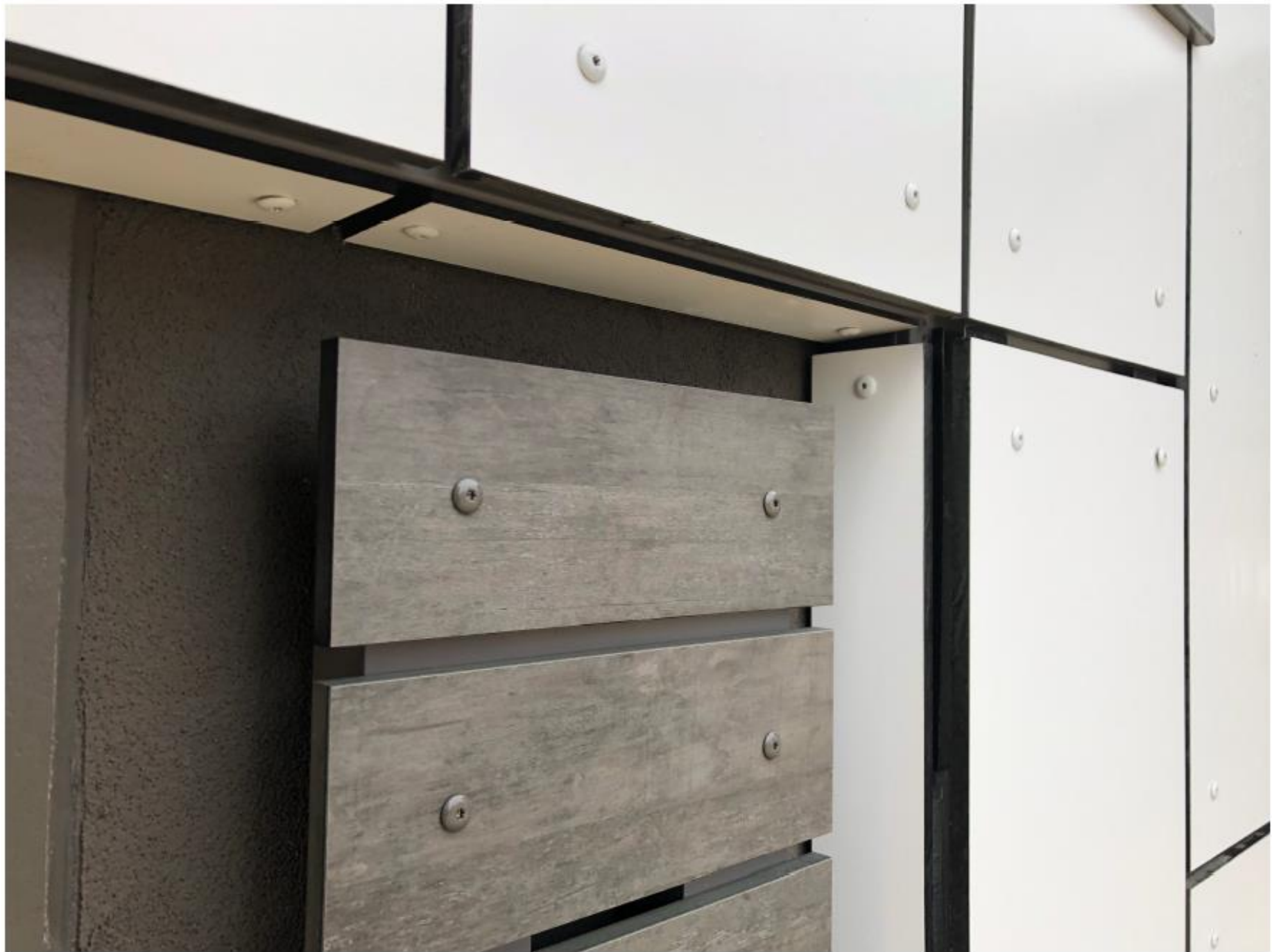
165 FAIRBANKS DR.
TMS # 271-00-00-006

Request approval for a completed mock-up panel for a
new recreational facility.











Agenda Item #4

1426 MEETING ST.

TMS # 464-14-00-121

Request preliminary approval for the construction of
a new 2-story office building



1426 MEETING STREET OFFICE BUILDING

1426 MEETING STREET, CHARLESTON, SC 29403

PRELIMINARY DRB SUBMITTAL 03.02.2020

PRELIMINARY DRB NOTE - GROSS SQUARE FOOTAGE



BUILDING GROSS SQUARE FOOTAGE

1426 MEETING STREET
TOTAL GROSS SF 6,100 SF

PROJECT CONTACTS:

ARCHITECTURAL
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CHARLESTON, SC 29406
843.640.3566

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PROJECT MANAGER
NICK GALIZIA, AIA, NCARB
PROJECT ARCHITECT

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NICK@BELLOGARRIS.COM

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STEPHEN WEST, PE
STRUCTURAL ENGINEER
SWEST@TOSIASWEST.COM

M/E/P
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MECHANICAL ENGINEER

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CIVIL / LANDSCAPE
FORSBERG ENGINEERING & SURVEYING, INC.
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843.571.2622

DANNY FORSBERG, PE
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BELLO GARRIS
ARCHITECTS

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843.640.3566
BELLOGARRIS.COM

1426 MEETING STREET OFFICE BUILDING

1426 MEETING STREET,
CHARLESTON, SC 29403

Document Record

No.	Date	Description
1	05.11.19	DRB CONCEPTUAL SUBMITTAL
2	03.02.2020	DRB PRELIMINARY SUBMITTAL

COVER

03.02.2020
DATE

ASSOCIATED
SCALE

SHEET
NUMBER

12.15
DATE

G-001

NOT RELEASED FOR CONSTRUCTION

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PROJECT DESCRIPTION

1426 MEETING STREET IS A TWO-STORY, THREE V-CORE AND SHELL OFFICE BUILDING. IT IS APPROXIMATELY 5,000 SQUARE FEET IN TOTAL AND IS LOCATED ALONG MEETING STREET ABOVE MORRISON DRIVE.

THE STRUCTURE WILL CONSIST OF TRADITIONAL 2X WOOD FRAMING, PLYWOOD BRACING, POLISHED CONCRETE FLOORING, AND ROOF PANELS AND COMPOSITE WOOD TRUSSES WITH 2X STUD FRAMING.

THE SKIN OF THE BUILDING IS PRIMARILY VERTICAL AND HORIZONTAL BURNED A BRUSHED ACCOYA BEAMS OVER WOOD FRAMING. TRIM WITH ACCENT BEAMS AS INDICATED ON THE ELEVATIONS. METAL WALL PANELS ARE LOCATED OVER THE ALUMINUM STOREFRONT GLAZING AND AT THE CORNERS.

THE ROOF IS A SINGLE PLY ROOF MEMBRANE SYSTEM.

GENERAL PROJECT NOTES

THE WORK PROVIDED IN THESE DOCUMENTS DISCLOSES SYSTEMS AND DETAILS AS NECESSARY TO CONSTRUCT A NEW OFFICE BUILDING. THE PROJECT IS LOCATED AT 1426 MEETING STREET, IN CHARLESTON, SC 29403 (604-11-00-121).

1. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.

2. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUB CONTRACTOR FOR ANY PART OF THE WORK.

3. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED IN THE WORK. OF COURSE, THE CONTRACTOR SHALL PERSONALLY INCUR NECESSARY FOR RETAINING A COMPLETE, VARIABLE PROJECT, INCLUDING BUT NOT LIMITED TO SITE WORK, ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC ALL MATERIALS AND EQUIPMENT REFERRED TO IN NOTES AND SPECIFICATIONS. BE HERE AND TURNED AND INSTALLED UNDER THE WORK OF THE PROJECT UNLESS NOTED OTHERWISE TO BE PROVIDED AND INSTALLED BY OWNER.

4. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VERIFY THE USE TO VERIFY ALL SETTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS, INSPECTIONS AND APPROVALS, ETC. AS REQUIRED TO COMPLETE WORK DISCLOSED HEREIN.

6. DESIGN INFORMATION CONTAINED WITHIN THESE DOCUMENTS SHOULD BE REVIEWED AND UNDERSTOOD BY THE CONTRACTOR PRIOR TO INSTALLATION TO ENSURE COORDINATION OF ALL DISCLOSED AND PROVIDED WORK. CONFLICTS SHALL BE NOTED TO BE IN CONFLICT WITH THE PROVIDED INFORMATION SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

7. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLER, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH WORK.

8. IF THE ARCHITECT SHALL BE AVAILABLE TO VISIT THE SITE WHEN REQUESTED. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OF ACTION BY THE ARCHITECT OR STRUCTURAL ENGINEER, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.

9. ALL WORK TO BE CARRIED OUT SHALL BE IN ACCORDANCE WITH ALL GOVERNING CODES AS ADOPTED BY LOCAL JURISDICTION HAVING AUTHORITY. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS, AND MANUFACTURERS' INSTRUCTIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND FEDERAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, CONTRACTOR SHALL NOTIFY ARCHITECT.

10. CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT PROTECTION FOR ALL EMPLOYEES, THE PUBLIC AND THE ADJACENT DURING THE COURSE OF THE WORK. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY CARE OF ALL ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

11. CONTRACTOR SHALL SUBMIT ALL SAMPLES AND COLOR SELECTIONS TO ARCHITECT AND OWNER FOR APPROVAL PRIOR TO IMPLEMENTATION.

12. CONTRACTOR SHALL SECURE THE OWNER'S APPROVAL OF ANY SUBSTITUTION PRIOR TO IMPLEMENTATION. OWNER SHALL NOTIFY CONTRACTOR ANY SUBSTITUTIONS IN PROGRESS AFTER VISITS TO THE PROGRESSION OF THE WORK.

13. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

14. OWNER SHALL PAY ALL TAXES, SECURE ALL PERMITS AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO: OBTAINING PERMITS, WATER, ELECTRIC AND TELEPHONE SERVICE CONNECTION, CERTIFICATE OF OCCUPANCY, AND INSPECTIONS.

15. RESPONSIBILITY: WORKMAN COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.

16. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK. WORKMANSHIP DEFECTS SHALL BE REPAIRS TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR DAMAGE. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO THE ARCHITECT.

17. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSS AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIAL USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.

18. CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM THEIR OPERATIONS. ALL SUCH MATERIAL MUST BE DISPOSED OF LEGALLY AND CONTRACTOR WILL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH SAID REMOVAL AND DISPOSAL. CONTRACTOR SHALL MAINTAIN THE PROJECT SITE IN A NEAT AND SAFE CONDITION AT ALL TIMES. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PROVIDED FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE ALL RUBBISH, RUBBISHES, AND SURPLUS MATERIALS AND LEAVE THE BUILDING CLEAN, WITH PAINTED AND WOOD SURFACES CLEAN, ALL FLOORS WAXED AND/OR POLISHED AS SPECIFIED, AND ALL GLASS AND WINDOWS CLEANED AND POLISHED.

19. CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATING AND MAINTENANCE MANUALS.

VICINITY MAP

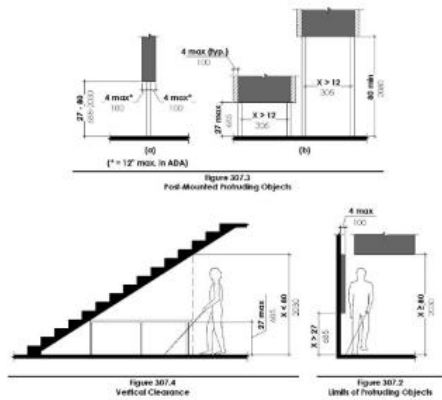


LOCATION MAP

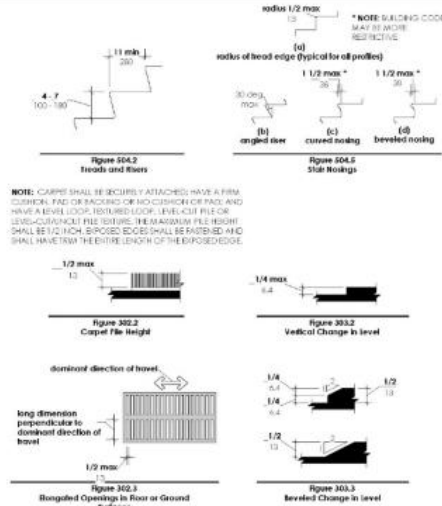


SHEET NO.		SHEET NAME		DATE		REVISION HISTORY	
G-001		COVER		03.02.2020			
G-002		PROJECT INFORMATION AND INDEX OF DRAWINGS		03.02.2020			
G-003		GENERAL ACCESSIBILITY DIAGRAMS		03.02.2020			
G-004		TYPICAL MOUNTING DIAGRAMS		03.02.2020			
G-005		TYPICAL MOUNTING DIAGRAMS		03.02.2020			
G-006		ARCHITECTURAL		03.02.2020			
G-007		AERIAL PHOTO / SITE CONTEXT		03.02.2020			
G-008		SITE CONTEXT - EXISTING		03.02.2020			
G-009		SITE CONTEXT - PROPOSED		03.02.2020			
G-010		COVER SHEET		03.02.2020			
G-011		TOPOGRAPHIC AND BOUNDARY SURVEY		03.02.2020			
G-012		GROUND CONTROL / DEMONSTRATION PLAN		03.02.2020			
G-013		THE REMOVAL PLAN / SEA COVER		03.02.2020			
G-014		TYPICAL MOUNTING DIAGRAMS		03.02.2020			
G-015		TYPICAL MOUNTING DIAGRAMS		03.02.2020			
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G-081		TYPICAL MOUNTING DIAGRAMS		03.02.2020			

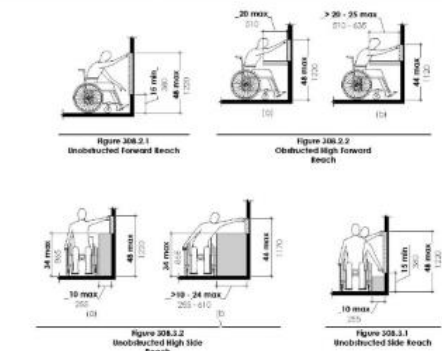
ACCESSIBLE PATH OF TRAVEL HAZARDS



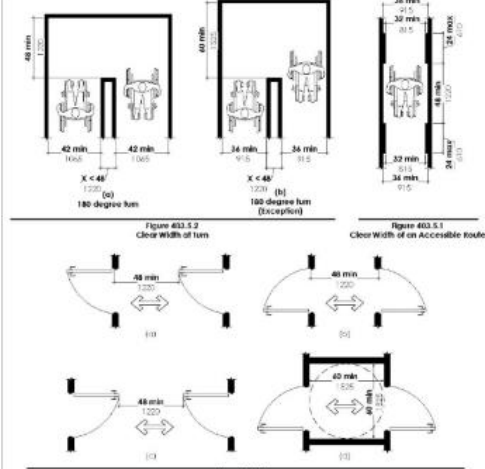
ACCESSIBLE CHANGE IN LEVEL AND NOSINGS



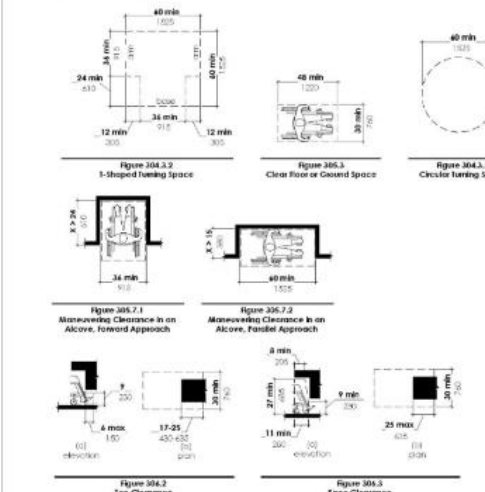
ACCESSIBLE REACH RANGES



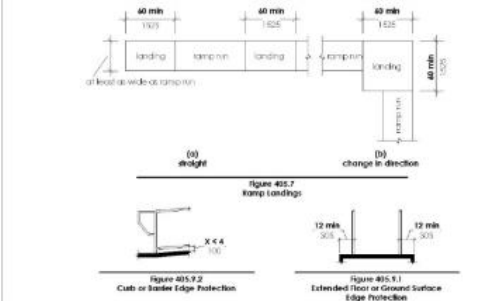
ACCESSIBLE DOORS IN SERIES



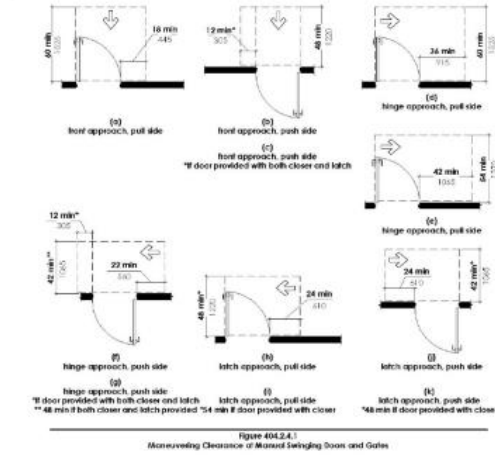
ACCESSIBLE CLEARANCES



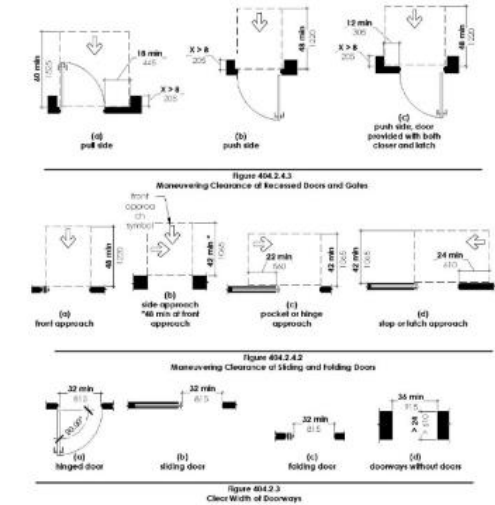
ACCESSIBLE RAMPS



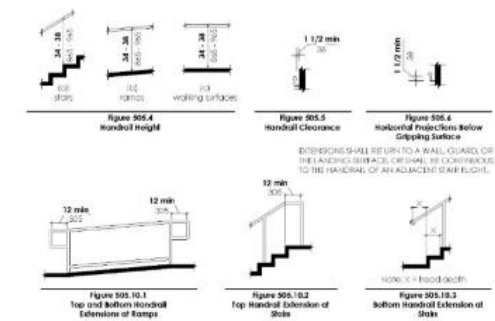
ACCESSIBLE DOOR MANEUVERING CLEARANCES



ACCESSIBLE DOOR CLEARANCES



ACCESSIBLE HANDRAIL REQUIREMENTS



- THE INFORMATION ON THIS SHEET REPRESENTS THE REQUIREMENTS FROM THE UNITED STATES ACCESS BOARD (PUBLISHED JULY 20, 2004 AND AMENDED AUGUST 5, 2009) WHICH DEVELOPS THE GUIDELINES FOR THE ARCHITECTURAL BARRIERS ACT (ABA) AND THE AMERICAN WITH DISABILITIES ACT (ADA). THE GUIDELINES REPRESENT THE BASIS OF THE ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (ABAAS) AND THE ADA STANDARDS FOR ACCESSIBILITY (ADA STANDARDS). RESPECTIVELY, THE FIGURES ARE REPRESENTED HERE FOR REFERENCE PURPOSES ONLY.
- LOCAL JURISDICTIONS MAY REFERENCE PUBLICATIONS OTHER THAN THOSE REFERENCED ABOVE AND SHOULD BE CONSULTED IF THE LOCAL GUIDELINES DIFFER FROM THOSE SHOWN HEREIN.
- THE REQUIREMENTS SHOWN ARE SOME, BUT NOT ALL, OF THE REQUIREMENTS OF THE RESPECTIVE ACCESSIBILITY GUIDELINES. IT IS NOT THE INTENT OF THIS SHEET TO PRESENT ALL THE REQUIREMENTS OF THE RESPECTIVE GUIDELINES.
- IN THE EVENT OF A CONFLICT OR OMISSION BETWEEN THE ARCHITECTS OR ENGINEERS DRAWINGS AND THE ABA/ADA STANDARDS, THE LATEST ADOPTED EDITIONS OF THE PUBLISHED ABA/ADA STANDARDS WILL TAKE PRECEDENCE.
- EACH AND EVERY ONE OF THE SITUATIONS SHOWN ON THIS SHEET MAY NOT OCCUR ON THE PROJECT.

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1426 MEETING STREET OFFICE
BUILDING

1426 MEETING STREET,
CHARLESTON, SC 29403

Document Record

No.	Date	Description
1	05.11.19	DRS CONCEPTUAL SUBMITTAL
2	03.02.2021	DRS PRELIMINARY SUBMITTAL

BASIC ACCESSIBILITY DIAGRAMS

05.02.2020
Date

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Scale

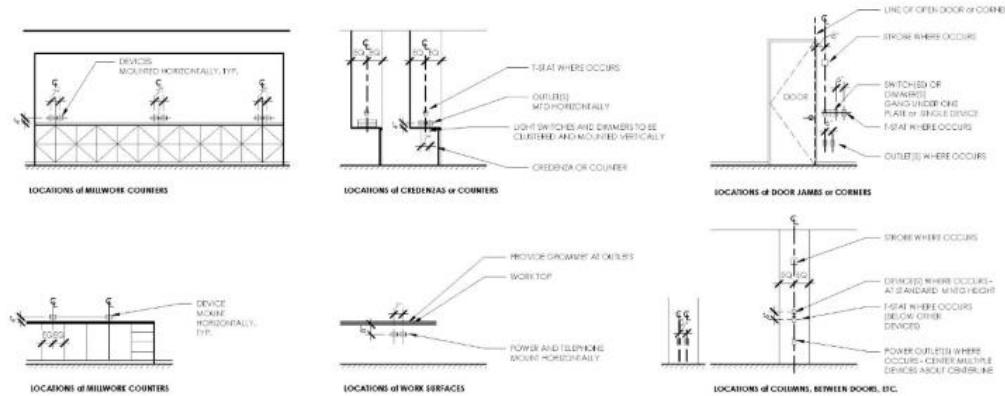
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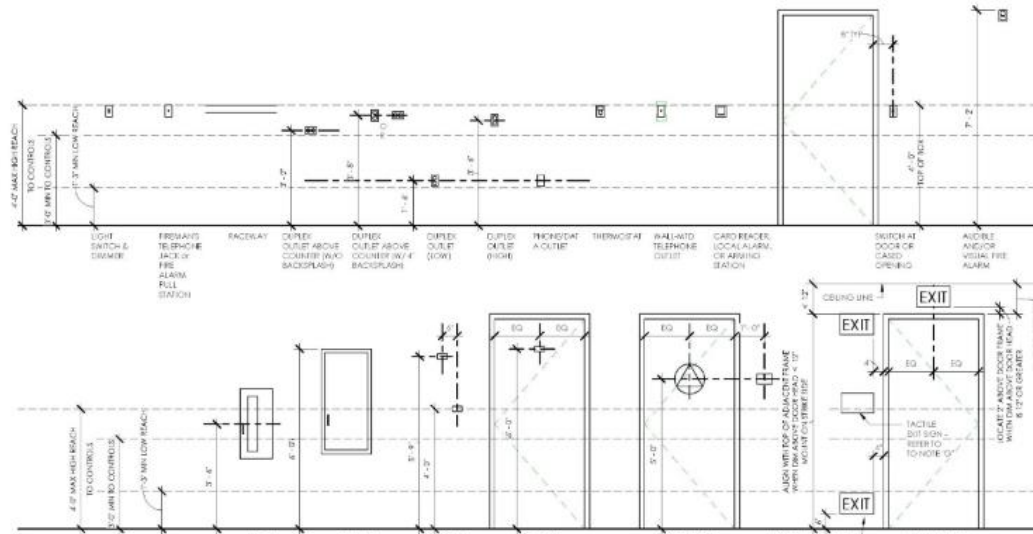
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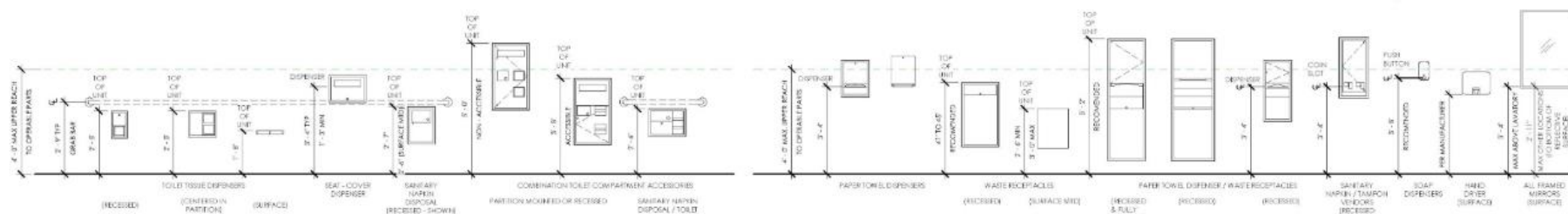
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TYPICAL MOUNTING LOCATION DIAGRAMS



TYPICAL MOUNTING HEIGHTS



TYPICAL TOILET ACCESSORY MOUNTING HEIGHTS

- IT IS THE INTENT OF THE DESIGN THAT ALL ITEMS SHOWN MOUNTED AT TYPICAL HEIGHTS BE ACCESSIBLE TO PERSONS WITH DISABILITIES.
- THE PURPOSE OF THIS SHEET IS TO ILLUSTRATE TYPICAL MOUNTING HEIGHTS AND ACCESS REQUIREMENTS FOR TOLILET ACCESSORIES. TYPICAL MINIMUM OR MAXIMUM CLEARANCES AND/OR TYPICAL MOUNTING HEIGHTS FOR A VARIETY OF ITEMS, CAUTION: THE SHEET MAY ILLUSTRATE ITEMS OR CONFIGURATIONS WHICH DO NOT OCCUR AS PART OF THE WORK OF THE PROJECT. REFER TO THE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND SCHEDULES TO DETERMINE WHICH ITEMS AND CONFIGURATIONS APPLY TO THE WORK OF THE PROJECT.
- SPECIAL OR NON-TYPICAL MOUNTING HEIGHTS OCCUR ONLY WHERE INDICATED BY AN INTEGRATED SYMBOL, BY REVISION NOTES, BY NOTES ON PLANS, ELEVATIONS OR DETAILS OR BY DIMENSIONED DIMENSIONS ON ELEVATIONS OR DETAILS.
- MOUNTING HEIGHTS, DIMENSIONS, CLEARANCES, AND ACCESS REQUIREMENTS FOR TOLILET ACCESSORIES SHOWN ON THIS SHEET ARE BASED UPON SPECIFIC MANUFACTURERS AND MODELS AS INDICATED BY THE TOLILET ACCESSORY SCHEDULE OR PER THE SPECIFICATIONS. WHEN SIMILAR ACCESSORIES OF OTHER SPECIFIED, ACCEPTABLE MANUFACTURERS (IF ANY) ARE USED, MOUNTING HEIGHTS, DIMENSIONS, CLEARANCES, AND ACCESS REQUIREMENTS OF THE SIMILAR ACCESSORIES MAY VARY FROM THOSE SHOWN. WHEN SIMILAR ACCESSORIES ARE USED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION REQUIRED TO ACHIEVE THE SAME AESTHETIC AND FUNCTIONAL DESIGN HEREIN ILLUSTRATED BY THAT SHOWN ON THE DETAILS.
- EACH SHOWER TO BE EQUIPPED WITH A FIXED SHOWER HEAD MOUNTED FOR THIS SHEET, AND A SEPARATE FLEXIBLE NO SHOWER SPRAY NOSE MOUNTED FOR THIS SHEET, UNLESS OTHERWISE NOTED.
- THE TYPICAL MOUNTING LOCATION DIAGRAMS ILLUSTRATE TYPICAL RULES GOVERNING THE RELATIONSHIPS BETWEEN AND PLACEMENT OF ITEMS WHICH OCCUR IN GROUPS OF RELATED ITEMS OR IN CLOSE PROXIMITY TO OTHER PARTS OF THE WORK (SUCH AS SWITCHES AND DOOR FRAMES). UNLESS OTHERWISE NOTED, CONFIGURATIONS ARE SPECIFICALLY NOTED, DIMENSIONED, OR ELEVATED. THE TYPICAL MOUNTING LOCATION DIAGRAMS AND THE TYPICAL CONFIGURATION DIAGRAMS APPLY THROUGHOUT THE WORK OF THE PROJECT.
- A TACTILE EXIT SIGN STATING "EXIT" AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR, RE-ENTRY DOOR, AND EXIT (SAFETY, EXIT, RE-ENTRY, AND EXIT) AREA FOR ASSURED PEOPLE. AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.

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TYPICAL MOUNTING
DIAGRAMS

03.02.2020
Date

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Scale

As per
Drawn

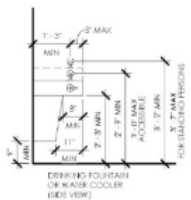
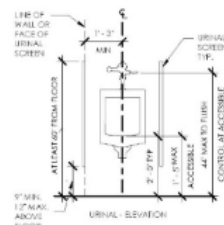
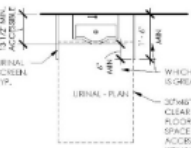
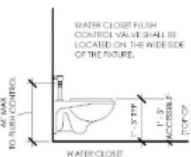
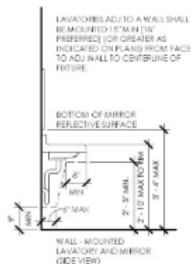
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G-004

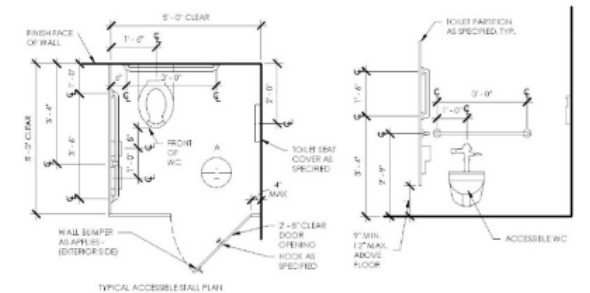
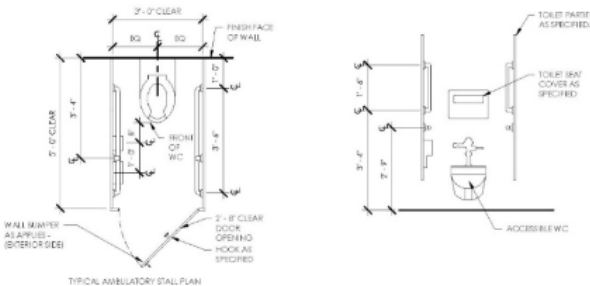
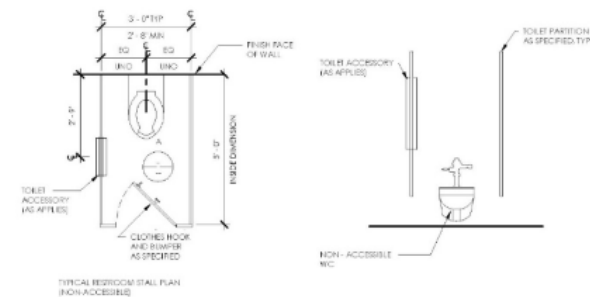
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TYPICAL FIXTURE CLEARANCES



TYPICAL NON-ACCESSIBLE RESTROOM STALL CONFIGURATION DIAGRAMS



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- THE PURPOSE OF THIS SHEET IS TO ILLUSTRATE TYPICAL MOUNTING HEIGHTS AND - WHERE APPLICABLE - TYPICAL MINIMUM OR MAXIMUM CLEARANCES AND/OR TYPICAL MOUNTING CONFIGURATIONS FOR A VARIETY OF ITEMS. CAUTION: THE SHEET MAY ILLUSTRATE ITEMS OR CONFIGURATIONS WHICH DO NOT OCCUR AS PART OF THE WORK OF THIS PROJECT, REFER TO THE PLANS, ELEVATIONS, SECTIONS, DETAILS AND SCHEDULES TO DETERMINE WHICH ITEMS AND CONFIGURATIONS APPLY TO THE WORK OF THIS PROJECT.
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- MOUNTING HEIGHTS, DIVISIONS, CLEARANCES, AND ACCESS REQUIREMENTS FOR TOILET ACCESSORIES SHOWN ON THIS SHEET ARE BASED UPON SPECIFIC MANUFACTURERS AND MODELS AS INDICATED BY THE TOILET ACCESSORY SCHEDULE OR PER THE SPECIFICATIONS. WHEN SIMILAR ACCESSORIES OR OTHER SPECIFIED MANUFACTURERS (IF ANY) ARE UTILIZED, MOUNTING HEIGHTS, DIVISIONS, CLEARANCES, AND ACCESS REQUIREMENTS OF THE SIMILAR ACCESSORIES MAY VARY FROM THOSE SHOWN. WHEN SIMILAR ACCESSORIES ARE UTILIZED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS REQUIRED TO ACHIEVE THE SAME AESTHETIC AND FUNCTIONAL DESIGN INTENT ILLUSTRATED BY THAT SHOWN ON THE DRAWINGS.
- EACH SHOWER TO BE EQUIPPED WITH A FIXED SHOWER HEAD MOUNTED PER THIS SHEET, AND A SEPARATE FLEXIBLE SHOWER SPRAY NOSE MOUNTED PER THIS SHEET, UNLESS OTHERWISE NOTED.
- THE TYPICAL MOUNTING LOCATION DIAGRAMS ILLUSTRATE TYPICAL RULES GOVERNING THE RELATIONSHIPS BETWEEN AND PLACEMENT OF ITEMS WHICH OCCUR IN GROUPS OF RELATED ITEMS OR IN CLOSE PROXIMITY TO OTHER PARTS OF THE WORK (SUCH AS SWITCHES AND DOOR FRAMES). UNLESS OTHER MOUNTING CONFIGURATIONS ARE SPECIFICALLY NOTED, DIMENSIONED, OR ELEVATED, THE TYPICAL RELATIONSHIPS, ARRANGEMENTS, AND THE TYPICAL CONFIGURATION DIAGRAMS APPLY THROUGHOUT THE WORK OF THIS PROJECT.
- A TACTILE BOT TON STATING "BOTT" AND COMPLIANT WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.

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TYPICAL MOUNTING DIAGRAMS

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19-15
JOB NO.

G-005

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AERIAL PHOTO / SITE CONTEXT

03.02.2020
DATE

00300

SURVEY
DATE

10.15

DATE

AS000

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2020 03 02 10:15 AM

11 AERIAL PHOTO

UPPER PENINSULA ZONING DISTRICT





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SITE CONTEXT - EXISTING

03.02.2020
DATE

SCALE

SURROUND
CONTEXT

1/2" = 1'5'
SCALE

AS001

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SITE CONTEXT - PROPOSED

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DATE

10:30P

SURFLOT
CITYPLAN

12.15
SCALE

AS002

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1426 MEETING STREET ROAD AT CUNNINGTON AVENUE NEW OFFICE BUILDING CITY OF CHARLESTON, CHARLESTON COUNTY, SC CITY PROJECT ID# : TRC-SP2019-000208

STORMWATER DESIGN STANDARDS MANUAL VARIANCES

APPLICABLE SECTION	DESCRIPTION OF VARIANCE	SUBMITTAL DATE	APPROVAL DATE

CITY OF CHARLESTON TRAFFIC & STREET NAME SIGN STANDARDS

- TRAFFIC SIGNS SHOULD BE DESIGNED AND PLACED IN ACCORDANCE WITH THE LATEST REVISION OF THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD), PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION.
- NON-TRAFFIC RELATED SIGNS SHOULD BE APPROVED BY THE DEPARTMENT OF TRAFFIC AND TRANSPORTATION.
- REGULATORY, WARNING, AND GUIDE SIGNS SHALL BE FABRICATED WITH ASTM INTERNATIONAL FORMERLY AMERICAN SOCIETY FOR TESTING AND MATERIALS TYPE III (SIGN INTENSITY) OR GREATER RETROREFLECTIVE SHEETING. UPON APPROVAL BY THE DEPARTMENT OF TRAFFIC AND TRANSPORTATION PARKING SIGNS AND NON-TRAFFIC RELATED SIGNS MAY BE FABRICATED WITH ASTM TYPE I (NON-GRASS) OR GREATER MATERIAL.
- STREET NAME SIGNS SHALL BE FABRICATED USING EXTRUDED ALUMINUM BLADES 9" IN HEIGHT, THE MINIMUM LENGTH IS 24" WITH 4" AS THE MAXIMUM. THE ACTUAL LENGTH OF THE BLADE WILL BE DICTATED BY THE NUMBER OF LETTERS IN THE NAME.
- THE STREET NAME COLOR SCHEME SHOULD BE WHITE ASTM TYPE III LETTERING ON A GREEN BACKGROUND.
- THE STREET NAME LETTER FONT (OR TYPEFACE) SHOULD BE PERWA SERIES "C", COMMONLY KNOWN AS HIGHWAY GOTHIC "C".
- ALL STREET NAMES ARE TO CONSIST OF 6" UPPER CASE LETTERS WITH 4" LOWER CASE LETTERS. THE STREET DESIGNATIONS, E.G., ST, RD, DR, CBL, PKWY, AVE, AND BLVD ARE TO BE 3/4" SUPERSCRIPT.
- THE STREET NAME, INCLUDING THE SUPERSCRIPT DESIGNATION, SHALL BE CENTERED VERTICALLY AND HORIZONTALLY ON THE BLADE.
- THE SPACING FROM THE BLADE EDGE TO THE BEGINNING AND END OF THE STREET NAME, INCLUDING THE SUPERSCRIPT DESIGNATION, SHOULD BE A MINIMUM OF 2".
- STREET NAME SIGNS SHOULD BE MOUNTED WITH A VERTICAL CLEARANCE OF AT LEAST 8' MEASURED FROM THE BOTTOM OF THE SIGN TO THE NEAR EDGE OF THE PAVEMENT. ALL OTHER SIGNS SHALL BE MOUNTED AT LEAST 7' FROM THE BOTTOM OF THE SIGN TO THE NEAR EDGE OF THE PAVEMENT, EXCEPT WHEN A SUPPLEMENTAL PLAQUE OR SECONDARY SIGN IS PERMITTED.
- IF A SUPPLEMENTAL PLAQUE OR SECONDARY SIGN IS PERMITTED TO BE MOUNTED ON THE SAME ASSEMBLY AS ANOTHER SIGN, THE MAJOR (MOST IMPORTANT) SIGN SHALL BE INSTALLED ABOVE THE SUPPLEMENTAL PLAQUE OR SECONDARY SIGN. THE MINIMUM HEIGHT FROM THE BOTTOM OF THE SUPPLEMENTAL PLAQUE OR SECONDARY SIGN TO THE NEAR EDGE OF THE PAVEMENT SHALL BE 6'.
- THE MINIMUM LATERAL OFFSET FOR INSTALLED SIGNS SHOULD BE 2' MEASURED FROM THE NEAREST SIGN EDGE TO THE PAVEMENT EDGE OR THE FACE OF CURB. A MINIMUM OFFSET OF 1' FROM THE FACE OF THE CURB MAY BE USED IN AREAS WHERE SIDEWALK WIDTH IS LIMITED OR WHERE EXISTING POLES ARE CLOSE TO THE CURB.
- ALL TRAFFIC SIGN POSTS SHOULD BE SECURELY INSTALLED AT LEAST 2" IN THE GROUND. TRAFFIC SIGN POSTS SHOULD BE GREEN, 3.1500 STREEL U-CHANNEL POSTS, BREAKAWAY, AND 12" IN LENGTH EXCEPT FOR STREET NAME SIGN POSTS.
- ALL STREET NAME POSTS SHOULD BE BOTTED, 2.5" OD, BREAKAWAY, ALUMINUM OR STEEL, AND AT LEAST 10' IN LENGTHS.

FIRE PROTECTION PLAN NOTES:

- BUILDING CONSTRUCTION TYPE V-B, DEVELOPED TO REQUEST A BOARD OF APPEALS VARIANCE TO ALLOW TYPE OF CONSTRUCTION WITHIN FIRE DISTRICT. APPROVAL FOR THIS TYPE OF CONSTRUCTION WAS ON 1/14/2020.
 - 2 STORIES
 - 6,222 GROSS SQ.FT.
 - 4,980 OFFICE SPACE SQ.FT.
 - 3,100 FOOTPRINT SQ.FT.
 - NO VAULTS, PITS OR FUEL TANKS EXCEPT FOR ELEVATOR PIT
- THIS PROJECT WILL NOT INCLUDE A FIRE SPRINKLER SYSTEM.
- HYDRAULIC ELEVATOR IN BUILDING LOBBY, HYDRAULIC FLUID CAPACITY TO BE DETERMINED WITH FINAL ELEVATOR SPEC.
- THERE ARE 2 EXISTING FIRE HYDRANTS WITHIN 500' OF THIS SITE.
- THE EXISTING HYDRANT IS ON MEETING STREET ROAD ON A 24" WATER MAIN.
- A FIRE FLOW TEST IS PROVIDED. SEE SHEET C700, AVAILABLE FLOW IS 2147 @ 20 PSI.
- THE BUILDING WILL BE ACCESSIBLE FROM CUNNINGTON AVENUE AND MEETING STREET ROAD.
- THERE IS NO KNOX BOX AT THIS TIME.
- INDIVIDUAL SUITES WITHIN THE BUILDING WILL INCLUDE SUITE DESIGNATION IN A MINIMUM 4" NUMBER. STREET MARKINGS SHALL INCLUDE THE SITE ADDRESS (4148 MEETING STREET ROAD).
- ACCORDING TO THE IFC APPENDIX B, TABLE 905.1.1 THE REQUIRED FIRE FLOW FOR THE 6,222 SQ.FT. TYPE V-B CONSTRUCTION IS GPM 2200 @ 20 PSI FOR A DURATION OF 2 HOURS.

TRAFFIC CONTROL PLAN NOTES:

- IF TRAFFIC SIGNS OR MARKINGS WITHIN THE RIGHT OF WAY ARE IMPACTED, SHOW EXISTING AND PROPOSED RELOCATIONS. RELOCATION OF THESE ITEMS MUST BE COORDINATED WITH TRAFFIC AND TRANSPORTATION PRIOR TO CONSTRUCTION.
- IF THE STREET IS BLOCKED OR IMPACTED DURING CONSTRUCTION AT ANY TIME FOR ANY REASON, A STREET BLOCKING PERMIT WILL BE REQUIRED. NO CONSTRUCTION PARKING OR STAGING WILL BE PERMITTED WITHIN THE RIGHT OF WAY WITHOUT PRIOR AUTHORIZATION BY TRAFFIC AND TRANSPORTATION.
- LANE CLOSURES WITHIN THE PUBLIC RIGHT OF WAY OF ANY TYPE OR DURATION MUST BE APPROVED BY TRAFFIC AND TRANSPORTATION PRIOR TO CONSTRUCTION. NO CONSTRUCTION PARKING OR STAGING WILL BE ALLOWED WITHIN THE RIGHT OF WAY WITHOUT PRIOR APPROVAL BY TRAFFIC AND TRANSPORTATION.
- ALL TRAFFIC CONTROL DEVICES WILL BE MUTED STANDARDS (MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES), NIGHT DISTANCE VISIBILITY AT ALL INTERSECTIONS WILL BE MAINTAINED IN ACCORDANCE WITH SCODOT'S ACCESS AND ROAD MANAGEMENT STANDARDS MANUAL.
- REMOVAL OR CHANGES TO ON-STREET PARKING MUST BE COORDINATED WITH TRAFFIC AND TRANSPORTATION.
- THE CONTRACTOR SHALL OBTAIN BOTH AN ENGINEERING PERMIT AND A STREET BLOCKING PERMIT FROM THE CITY OF CHARLESTON FOR LANE CLOSURE ALONG MEETING STREET ROAD AND CUNNINGTON AVE.
- NIGHT DISTANCE VISIBILITY AT ALL DOTS AND INTERSECTIONS WILL BE MAINTAINED IN ACCORDANCE WITH SCODOT'S ACCESS AND ROAD MANAGEMENT STANDARDS MANUAL.
- ALL SIDEWALKS, WALKWAYS AND CROSSWALKS MUST MAINTAIN NO GREATER THAN 2% CROSS SLOPE FOR A MINIMUM OF 3' WIDTH THROUGH ALL DRIVEWAY SURFACES.

PARKING SUMMARY

PROPOSED BUILDING IS 2.0 STORIES.
OFFICE SPACE = 4,980 SQ.FT.

REQUIRED PARKING:
OFFICE SPACE (PENNSULA):
1 SPACE PER 500 SQ.FT.

4,980/500 = 9.96 ≈ 10 SPACES REQUIRED

PARKING PROVIDED:

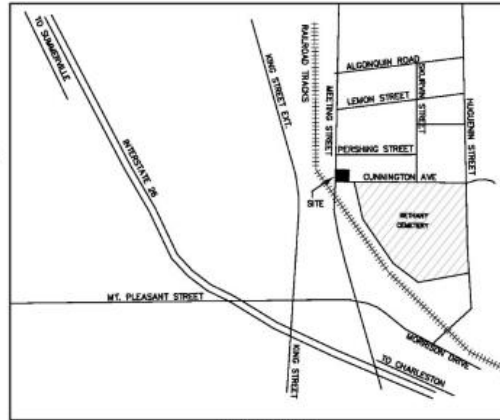
17 SPACES TOTAL (16 STANDARD/1 HANDICAP)

NUMBER OF ISLANDS REQUIRED:

5 PARKING SPACES / 1 ISLAND

17 PARKING SPACES REQUIRES 4 ISLANDS.

PARKING ISLANDS PROVIDED: 4



VICINITY MAP

SHEET INDEX:

- C001 - COVER SHEET
- C100 - EXISTING CONDITIONS SURVEY
- C200 - DEMOLITION/ EROSION CONTROL PLAN
- C201 - TREE REMOVAL PLAN/ BZA EXHIBIT
- C300 - GEOMETRIC SITE PLAN
- C400 - GRADING AND DRAINAGE PLAN
- C401 - UTILITY PLAN
- C500 - SWPPP NOTES AND DETAILS
- C501 - CONSTRUCTION DETAILS
- C502 - CWS CONSTRUCTION DETAILS
- C503 - NCSD CONSTRUCTION DETAILS
- C504 - SEWER PUMP DETAIL
- C600 - ADA ACCESSIBLE ROUTE PLAN
- C700 - FIRE PROTECTION PLAN
- L100 - LANDSCAPE PLAN
- L101 - LANDSCAPE PLAN
- A201 - ELEVATIONS
- A202 - ELEVATIONS
- A203 - ELEVATIONS

TRC NOTES:

- THE CURRENT PROJECT SITE CONSISTS OF 1 PARCEL OWNED BY MEETING 1426 PROPERTY LLC. 1426 MEETING STREET ROAD (CWS# 484-14-00-12). THE LOT IS CURRENTLY VACANT AND HAS NEVER BEEN DEVELOPED. TOTAL AREA IS 0.231 ACRES AND THERE ARE NO WETLANDS OR CRITICAL AREA ON SITE.
- ACCORDING TO FLOOD INSURANCE RATE MAP 450190504J THIS PROPERTY LIES IN FLOOD ZONE X.
- THE PARCEL IS ZONED UP (UPPER PENNSULA).
- OLD CITY DISTRICT 4-12. THE NEW BUILDING WILL BE 2 STORIES.
- THERE ARE NO USUAGE JURISDICTIONAL OR NONJURISDICTIONAL WETLANDS ON THIS SITE.
- AN AUTOCAD DRAWING WILL BE PROVIDED TO THE CONTRACTOR TO ASSIST IN LAYOUT.
- ALL SIGNS REQUIRE A SEPARATE PERMIT. CONTRACTOR SHALL CONTACT ALEX HOWE AT 843-795-7795 FOR PERMIT AND APPROVAL.
- TRASH SERVICE WILL BE STREET SIDE PICK-UP WITH ROLLOUT CITY OF CHARLESTON TRASH CANS ON CUNNINGTON STREET. ROLLOUT TRASH CANS MUST BE EITHER SCREENED OR LOCATED WHERE IT IS NOT VISIBLE FROM THE PUBLIC VIEW.
- CONTRACTOR WILL BE RESPONSIBLE FOR REPLACEMENT/REPAIR OF ANY DAMAGE CAUSED BY CONSTRUCTION TO ADJACENT PROPERTY OR RIGHT OF WAY.
- ALL ABOVE GRADE UTILITY UNITS THAT ARE ON A STAND GREATER THAN 36" MUST MEET SETBACKS.
- THIS PROJECT REQUIRES CITY OF CHARLESTON ORS APPROVAL. PROJECT APPROVAL MUST BE OBTAINED.
- ALL ABOVE GROUND EXTERIOR UTILITY UNITS MUST BE SCREENED AND SCREENING APPROVED BY CITY OF CHARLESTON ORS.
- CONTRACTOR SHALL OBTAIN CITY OF CHARLESTON STREET BLOCKING AND ENGINEERING PERMIT FOR WORK ON CUNNINGTON AVE, PERSHING STREET, AND MEETING STREET ROAD.
- A SCODOT ENCROACHMENT PERMIT WILL BE REQUIRED FOR WATER AND SEWER CONNECTION ON PERSHING STREET AND MEETING STREET ROAD.
- ALL PROPOSED LIGHTING REQUIRES AN APPROVAL AND SIGNED LIGHTING PLAN FROM DOMINION ENERGY PRIOR TO ANY ASSOCIATED LIGHTING CONDUIT INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR INSTALLING CONDUIT IN ACCORDANCE WITH SCOD SPECIFICATIONS.
- ALL STREET LIGHT POLE FOOTINGS SHALL BE STAKED OUT IN THE FIELD AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS PRIOR TO INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY POLE LOCATIONS THAT ARE NOT PREVIOUSLY APPROVED.
- COVENANTS FOR PERMANENT MAINTENANCE OF STORMWATER FACILITIES FORM AND AS-BUILT DRAWINGS FOR STORMWATER MANAGEMENT FACILITIES MUST BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHARLESTON SPECIFICATIONS BEFORE A CERTIFICATE OF CONSTRUCTION COMPLETION WILL BE APPROVED.
- VISION CLEARANCE WAIVER SUBMITTED TO CITY OF CHARLESTON 1 & T DEPARTMENT

SPECIAL R/W NOTES FOR SCODOT PROJECTS:

- CONTRACTOR TO REFER TO THE MOST CURRENT EDITION OF THE SCODOT STANDARD DRAWINGS TO MAKE SURE THAT THE DETAILS SHOWN HEREON ARE THE MOST CURRENT SCODOT DETAILS. SEE SHEET C506 FOR SCODOT STANDARD DETAILS.
- ANY FIELD CHANGES WITHIN SCODOT R/W OR CHANGES THAT WOULD IMPACT SCODOT R/W WILL REQUIRE WRITTEN SCODOT APPROVAL PRIOR TO CHANGES BEING IMPLEMENTED IN THE FIELD (E.G. DRAINAGE, GRADING, ACCESS DESIGN ETC.).
- SCODOT WILL REQUIRE THAT YOU PROVIDE A TRAFFIC CONTROL PLAN (PHASED AS NECESSARY) FOR REVIEW AND APPROVAL. SEE TRAFFIC CONTROL DETAILS ON SHEET C300.
- UTILITY COMPANIES MUST SUBMIT UTILITY ENCROACHMENTS UNDER SEPARATE PERMITS FOR NEW CONNECTIONS OR RELOCATION OF EXISTING SERVICES. NO UTILITY WORK CAN BEGIN WITHIN THE R/W WITHOUT AN APPROVED SCODOT ENCROACHMENT PERMIT FOR EACH UTILITY. SCODOT WILL NOT ALLOW AN OPEN CUT OF A STATE ROAD IF IT WAS RECENTLY RESURFACED.
- ALL PIPE INSTALLATIONS WITHIN SCODOT RIGHT OF WAY TO MEET CURRENT SCODOT R/W, ALL COMPACTIVE STANDARDS (SEE SCODOT STANDARD DRAWINGS SECTION 714-000).
- THE DETAILS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY. FULL SIZE DETAILS ARE AVAILABLE ON THE SCODOT WEBSITE AT www.southcarolina.gov/transportation.
- THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF DRIVEWAYS AND OTHER ACCESS POINTS, INCLUDING ANY DRAINAGE STRUCTURES, FOR AREAS WITHIN THE RIGHTS-OF-WAYS OF STATE MAINTAINED FACILITIES IN PERPETUITY. DRIVEWAY ACCESS SHALL BE MAINTAINED FOR INGRESS/EGRESS - BLOCKING OF ACCESS WILL NOT BE ALLOWED.

UNIT ADDRESSING PLAN:

1426 MEETING STREET ROAD

ZONING SUMMARY

ZONED UP, (UPPER PENNSULA)
SETBACKS: N/A
LOT OCCUPANCY: N/A
HEIGHT: TBD
OLD CITY HEIGHT DISTRICT 4-12
ORS APPROVAL REQUIRED

PROJECT CONTACT INFORMATION:

OWNER: MEETING 1426 PROPERTY LLC
1049 WOODSON DRIVE
SUITE 200
CHARLESTON SC 29403
843-534-5031
CONTACT: DEAN PEARCE

ARCHITECT: NICK GALZA
NICK GALZA ARCHITECTS
78-B SPRING ST
CHARLESTON SC 29403
843-540-3506

ENGINEER: DANNY FORSBERG
843-271-2822
FORSBERG ENGINEERING & SURVEYING
P.O. BOX 30575
CHARLESTON SC 29417

CONTRACTOR: TO BE DETERMINED

CONSIDERABLE EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES. SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS. THIS PLAN DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION. CALL PALMETTO UTILITIES PROTECTION SERVICE AT 1-800-722-7877 A MINIMUM OF 3 WORKING DAYS BEFORE DIGGING. ANY UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ADDITIONALLY, THE CONTRACTOR SHALL CONFIRM THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.



**FORSBERG ENGINEERING
AND SURVEYING, INC.**
1807 SAVANNAH HIGHWAY SUITE B
CHARLESTON, SOUTH CAROLINA 29417
(843) 571-2822 FAX (843) 571-6786
WWW.FORSBERG-ENGINEERING.COM
CIVIL AND LAND PLANNING



COVER SHEET
1426 MEETING STREET ROAD
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA



GADDEN A. LINTON II

DATE

JULY 16, 2019

DRAWN/CHECKED

CLH/MSJ

LAST REVISED

FEBRUARY 13, 2019

APPROVED

DCF

SCALE

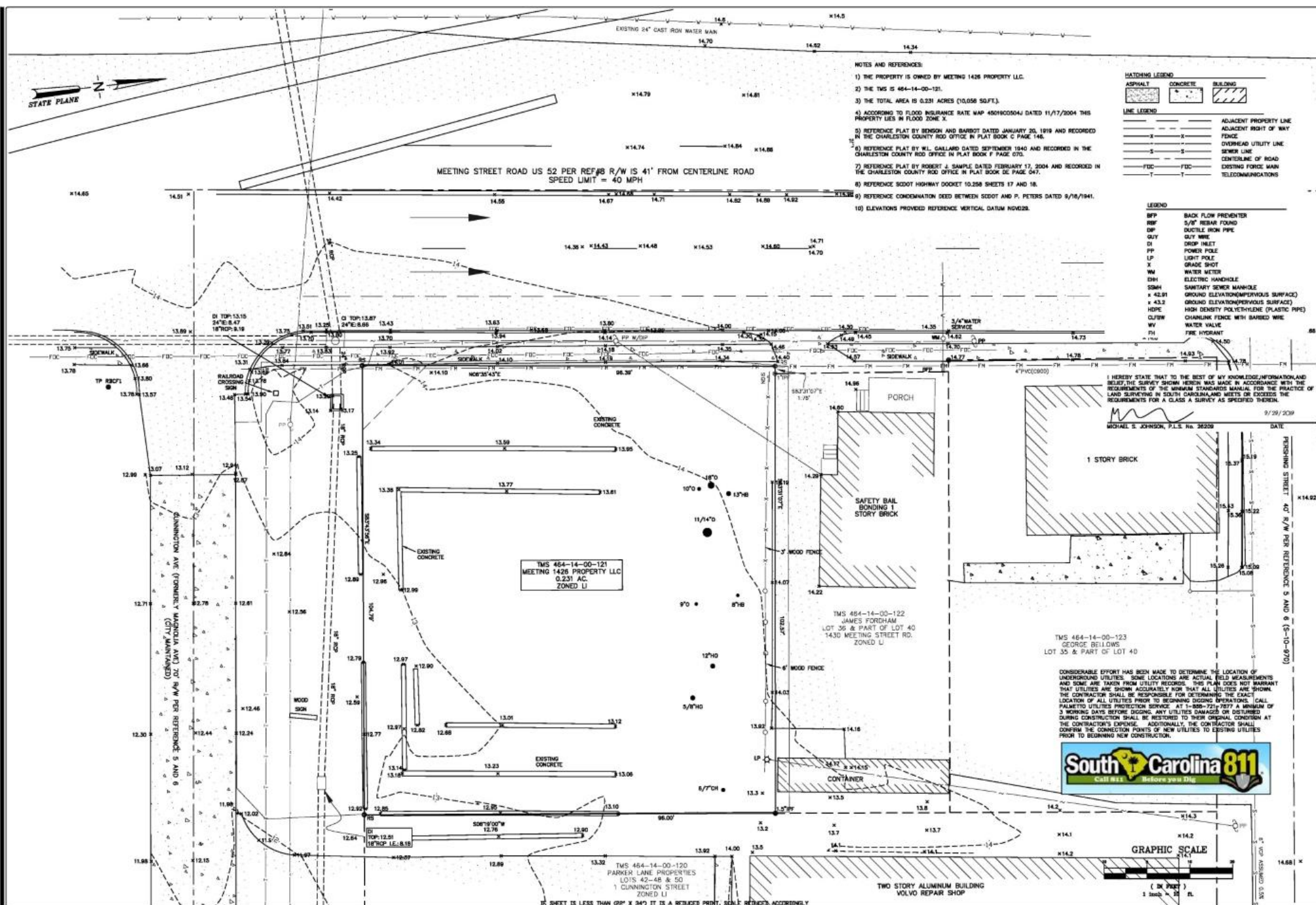
PROJECT NO.

S212

SHEET NUMBER

C001

OF TOTAL



- NOTES AND REFERENCES:
- 1) THE PROPERTY IS OWNED BY MEETING 1426 PROPERTY LLC.
 - 2) THE TMS IS 464-14-00-121.
 - 3) THE TOTAL AREA IS 0.231 ACRES (10,058 SQ.FT.).
 - 4) ACCORDING TO FLOOD INSURANCE RATE MAP 48010C0004J DATED 11/17/2004 THIS PROPERTY LIES IN FLOOD ZONE X.
 - 5) REFERENCE PLAT BY BENSON AND BARBOT DATED JANUARY 20, 1919 AND RECORDED IN THE CHARLESTON COUNTY RSD OFFICE IN PLAT BOOK C PAGE 146.
 - 6) REFERENCE PLAT BY W.L. GALLARD DATED SEPTEMBER 1940 AND RECORDED IN THE CHARLESTON COUNTY RSD OFFICE IN PLAT BOOK DE PAGE 047.
 - 7) REFERENCE PLAT BY ROBERT J. SAMPLE DATED FEBRUARY 17, 2004 AND RECORDED IN THE CHARLESTON COUNTY RSD OFFICE IN PLAT BOOK DE PAGE 047.
 - 8) REFERENCE SCOT HIGHWAY DOCKET 10,258 SHEETS 17 AND 18.
 - 9) REFERENCE CONDEMNATION DEED BETWEEN SCOT AND P. PETERS DATED 9/16/1941.
 - 10) ELEVATIONS PROVIDED REFERENCE VERTICAL DATUM NGVD29.

HATCHING LEGEND	
	ASPHALT
	CONCRETE
	BUILDING

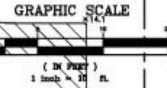
LINE LEGEND	
	ADJACENT PROPERTY LINE
	ADJACENT RIGHT OF WAY FENCE
	OVERHEAD UTILITY LINE
	SEWER LINE
	CENTERLINE OF ROAD
	EXISTING FENCE WALL
	TELECOMMUNICATIONS

LEGEND	
BFP	BACK FLOW PREVENTER
RBF	5/8" REBAR FOUND
DP	DUCTILE IRON PIPE
GUY	GUY WIRE
DI	DROP INLET
PP	POWER POLE
LP	LIGHT POLE
X	GRADE SHOT
WM	WATER METER
DH	ELECTRIC HANDHOLE
SMH	SANITARY SEWER MANHOLE
+ 42.81	GROUND ELEVATION(PERVIOUS SURFACE)
+ 43.2	GROUND ELEVATION(PERVIOUS SURFACE)
HDPE	HIGH DENSITY POLYETHYLENE (PLASTIC PIPE)
CLW	CHANGELINK FENCE WITH BARBED WIRE
WV	WATER VALVE
FH	FIRE HYDRANT

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

9/29/2019
MICHAEL S. JOHNSON, P.L.S. No. 36258
DATE

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FORSBERG ENGINEERING AND SURVEYING, INC.
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CIVIL AND LAND PLANNING

TOPOGRAPHIC AND BOUNDARY SURVEY
1426 MEETING STREET ROAD
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA

DATE
JULY 16, 2019

DRAWN/CHECKED
CLH/MSJ

LAST REVISED
SEPTEMBER 29, 2019

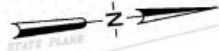
APPROVED
MSJ

SCALE
1" = 10'

PROJECT NO.
S212

SHEET NUMBER
C100

OF TOTAL



TREE SUMMARY

EXISTING:

3 PROTECTED TREES
1 GRAND TREE

TO BE REMOVED:

1 GRAND TREE
3 PROTECTED TREES

NOTE: HOLLY, HACKBERRY, AND CHERRY TREES WERE DETERMINED TO BE DEAD OR "NOT PROTECTED." SEE SHEET C201 FOR BZA EXHIBIT

TREE LEGEND

HO - HOLLY

HB - HACKBERRY

CH - CHERRY

MEETING STREET ROAD US 52 PER REF#8 R/W IS 41' FROM CENTERLINE ROAD
SPEED LIMIT = 40 MPH

DEMOLITION NOTES:

- 1) SEE EROSION CONTROL NOTES ON SHEET C200 AND C201.
- 2) CONTRACTOR IS RESPONSIBLE FOR SETTING ALL NEW AND EXISTING SSAN TOPS, INLET TOPS, FIRE HYDRANTS, VALVES, CLEAN OUTS, & ETC TO FINISHED GRADE. MINOR ADJUSTMENTS MAY BE NECESSARY.
- 3) ALL DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED IN ACCORDANCE TO GRASSING & SEEDING SCHEDULE ON SHEET C200 AND PERMANENTLY STABILIZED IN ACCORDANCE TO L100.
- 4) THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SWPPP INSPECTIONS, REPORTS, AS-BUILT DRAWINGS, MEETING CERTIFICATIONS, AND NOTICE OF TERMINATION AS REQUIRED BY THE APPROVED NPDES PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES SD0100000 (2012 CDP) AND AS REQUIRED BY CITY OF CHARLESTON MSA.
- 5) CONSIDERABLE EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES. SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS OR LOCATIONS MARKED IN THE FIELD BY THE VARIOUS UTILITY COMPANIES. THIS SURVEY DOES NOT WARRANT THAT UTILITIES ARE SHOWN ACCURATELY NOR THAT ALL UTILITIES ARE SHOWN. CALL PALMETTO UTILITY PROTECTION SERVICE (P.U.P.S.) AT 811 A MINIMUM OF 3 WORKING DAYS BEFORE DIGGING.
- 6) LITTER, CONSTRUCTION DEBRIS, CONCRETE WASHOUT, OILS, FUELS AND BUILDING PRODUCTS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.
- 7) SCOOT ENDOACHMENT PERMITS WILL BE REQUIRED FOR NEW SEWER SERVICE CONNECTIONS IN PENDING STREET. THE CONTRACTOR WILL BE RESPONSIBLE FOR CITY OF CHARLESTON STREET BLOCKING AND ENGINEERING PERMITS FOR THE NEW WORK IN CUNNINGHAM AVE RIGHT OF WAYS.
- 8) SAWCUT STRAIGHT EDGE FOR ALL ASPHALT DEMOLITION. REFER TO SCOOT ENDOACHMENT PERMIT FOR REQUIRED MILLING IF APPLICABLE. ALL SIDEWALK AND CURB DEMOLITION WILL BE TO EXISTING JOINTS.
- 9) A CONCRETE WASHOUT IS REQUIRED FOR THIS SITE. THE LOCATION WILL BE DETERMINED BY THE CONTRACTOR.
- 10) ALL TREES HAVE BEEN APPROVED FOR REMOVAL AT BZA-SD ON OCTOBER 3, 2018. SEE SHEET C201.

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CIVIL AND LAND PLANNING



EROSION CONTROL/DEMOLITION PLAN 1426 MEETING STREET ROAD CITY OF CHARLESTON CHARLESTON COUNTY, SOUTH CAROLINA



GADSDEN A. LINTON III

DATE

JULY 16, 2019

DRAWN/CHECKED

CLH/MSJ

LAST REVISED

FEBRUARY 13, 2019

APPROVED

DCF

SCALE

1" = 10'

PROJECT NO.

S212

SHEET NUMBER

C200

OF TOTAL

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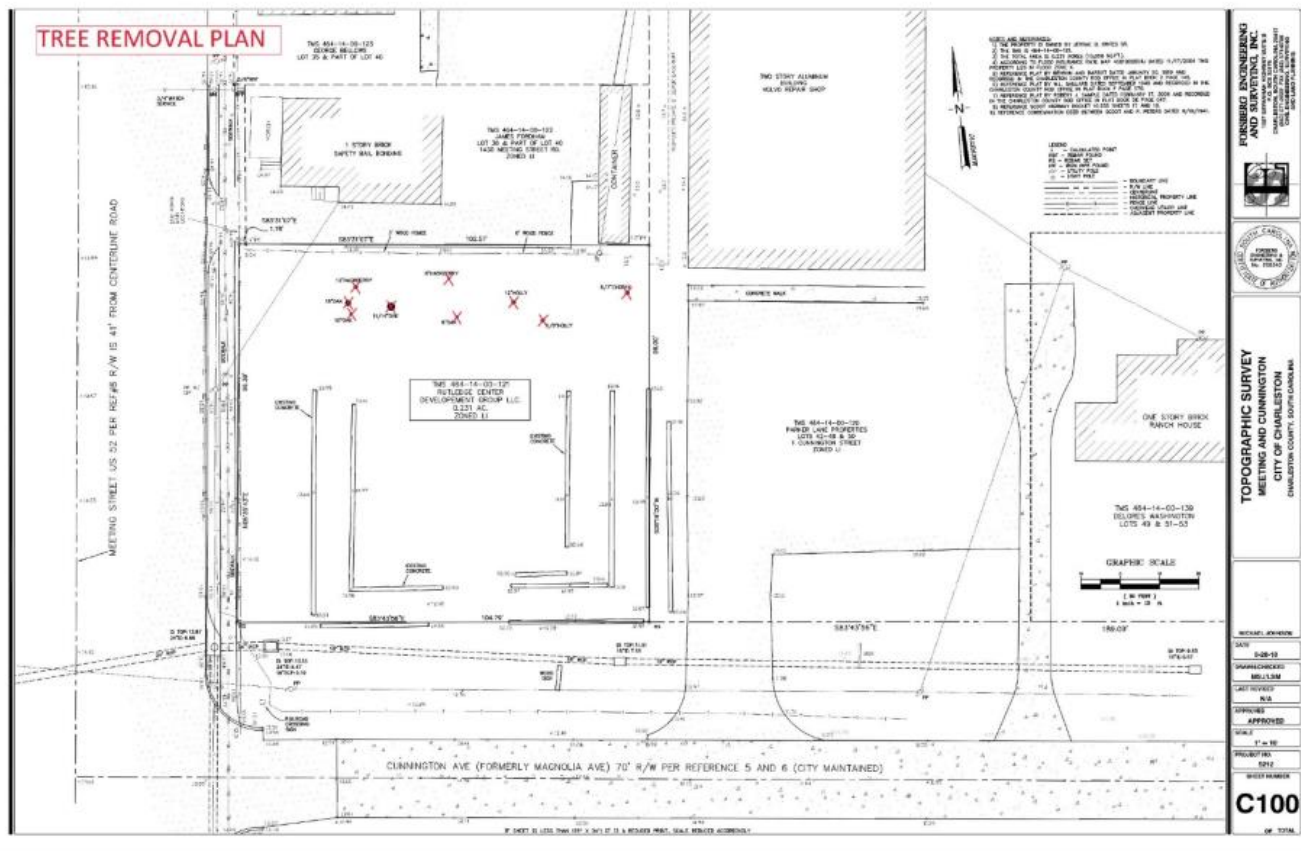
CONTRACTOR TO PROVIDE INLET PROTECTION AT NEXT DROP INLET APPROXIMATELY 140' EAST ALONG CUNNINGHAM AVE.

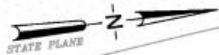
IF SHEET IS LESS THAN 22" X 34" IT IS A REDUCED PRINT, SCALE REDUCES ACCORDINGLY

GRAPHIC SCALE



TREE REMOVAL PLAN





MEETING STREET ROAD US 52 PER REF# R/W IS 41' FROM CENTERLINE ROAD
SPEED LIMIT = 40 MPH

PARKING SUMMARY

PROPOSED BUILDING IS 2.0 STORIES,
OFFICE SPACE = 4,980 SQ.FT.

REQUIRED PARKING:
OFFICE SPACE (PENINSULA):
1 SPACE PER 500 SQ.FT.

4,980/500 = 9.96 ≈ 10 SPACES REQUIRED

PARKING PROVIDED:

17 SPACES TOTAL (16 STANDARD/1 HANDICAP)

NUMBER OF ISLANDS REQUIRED:

5 PARKING SPACES / 1 ISLAND

17 PARKING SPACES REQUIRES 4 ISLANDS.

PARKING ISLANDS PROVIDED: 4

ZONING SUMMARY

ZONED UP, (UPPER PENINSULA)

SETBACKS: N/A

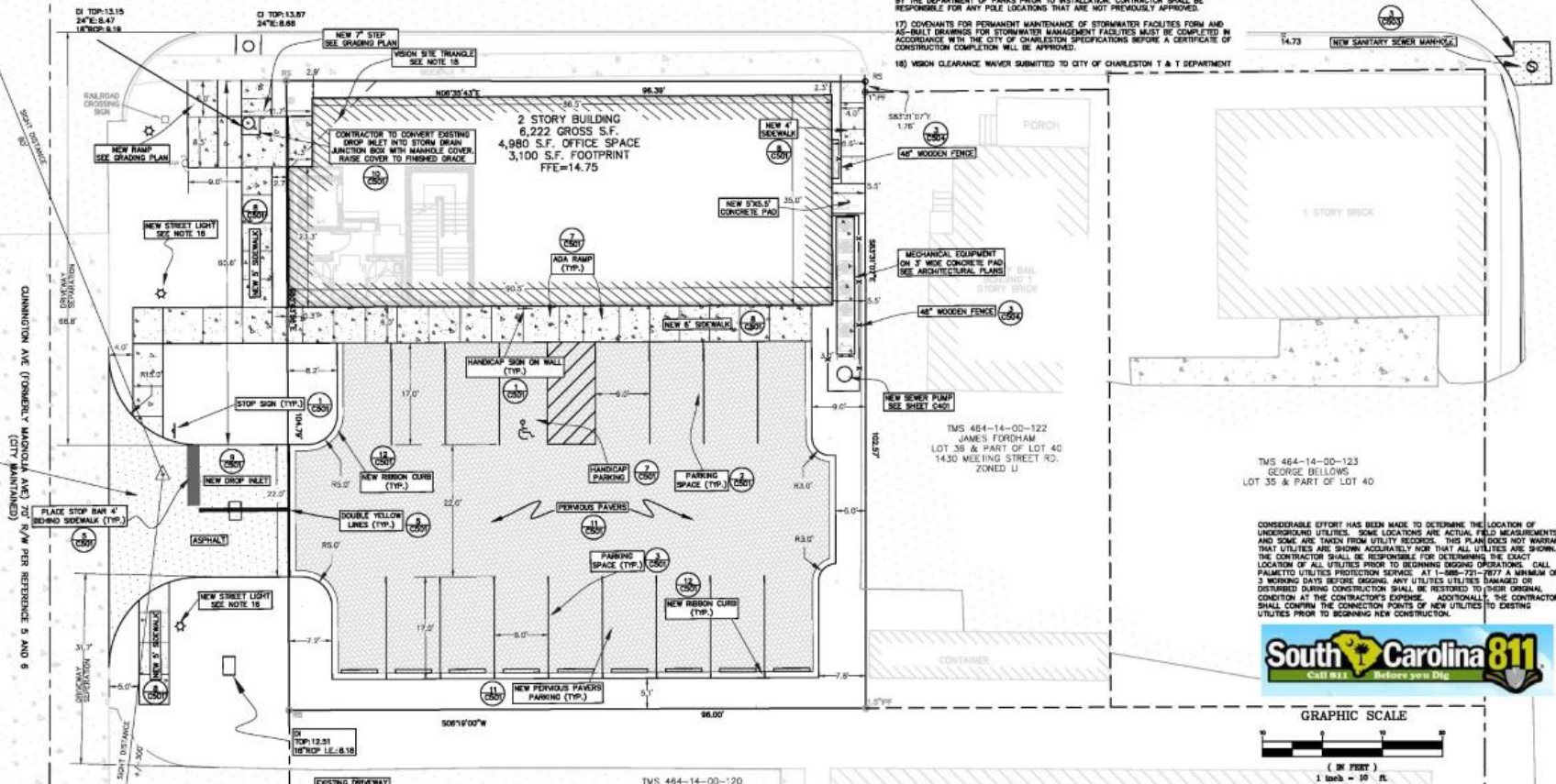
LOT OCCUPANCY: N/A

HEIGHT: TBD

OLD CITY HEIGHT DISTRICT 4-12

DRB APPROVAL REQUIRED

CUNNINGTON AVE (FORMERLY MANOULA AVE) 70' R/W PER REFERENCE 5 AND 6
(CITY MAINTAINED)



INC. NOTES:

- 1) THE CURRENT PROJECT SITE CONSISTS OF 1 PARCEL OWNED BY MEETING 1426 PROPERTY LLC.
1426 MEETING STREET ROAD (TMS# 464-14-00-121)
THE LOT IS CURRENTLY VACANT AND HAS NEVER BEEN DEVELOPED. TOTAL AREA IS 0.231 ACRES AND THERE ARE NO WETLANDS OR CRITICAL AREA ON SITE.
- 2) ACCORDING TO FLOOD INSURANCE RATE MAP 4501900204J THIS PROPERTY LIES IN FLOOD ZONE X.
- 3) THE PARCEL IS ZONED UP (UPPER PENINSULA).
- 4) OLD CITY DISTRICT DISTRICT 4-12. THE NEW BUILDING WILL BE 2 STORIES.
- 5) THERE ARE NO URBAN JURISDICTIONAL OR NONJURISDICTIONAL WETLANDS ON THIS SITE.
- 6) AN AUTOCAD DRAWING WILL BE PROVIDED TO THE CONTRACTOR TO ASSIST IN LAYOUT.
- 7) ALL SIGNS REQUIRE A SEPARATE PERMIT. CONTRACTOR SHALL CONTACT ALEX HOWE AT #724-3791 FOR PERMIT AND APPROVAL.
- 8) TRASH SERVICE WILL BE STREET SIDE PICK-UP WITH ROLLOUT CITY OF CHARLESTON. TRASH CANS ON CUNNINGTON STREET. ROLLOUT TRASH CANS MUST BE EITHER SCREENED OR LOCATED WHERE IT IS NOT VISIBLE FROM THE PUBLIC VIEW.
- 9) CONTRACTOR WILL BE RESPONSIBLE FOR REPLACEMENT/REPAIR OF ANY DAMAGE CAUSED BY CONSTRUCTION TO ADJACENT PROPERTY OR RIGHT OF WAY.
- 10) ALL ABOVE GRADE UTILITY UNITS THAT ARE ON A STAND GREATER THAN 36" MUST MEET SETBACKS.
- 11) THIS PROJECT REQUIRES CITY OF CHARLESTON DRB APPROVAL. PROJECT APPROVAL WAS XXXXXXX.
- 12) ALL ABOVE GROUND EXTERIOR UTILITY UNITS MUST BE SCREENED AND SCREENING APPROVED BY CITY OF CHARLESTON DRB.
- 13) CONTRACTOR SHALL OBTAIN CITY OF CHARLESTON STREET CLOSING AND ENGINEERING PERMIT FOR WORK ON CUNNINGTON AVE, PERSHING STREET, AND MEETING STREET ROAD.
- 14) A SECDOT EMBROIDERED PERMIT WILL BE REQUIRED FOR WATER AND SEWER CONNECTION ON PERSHING STREET AND MEETING STREET ROAD.
- 15) ALL PROPOSED LIGHTING REQUIRES AN APPROVAL AND SIGNED LIGHTING PLAN FROM COMMON ENERGY PRIOR TO ANY ASSOCIATED LIGHTING CONDUIT INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR INSTALLING CONDUIT IN ACCORDANCE WITH SECD SPECIFICATIONS.
- 16) ALL STREET LIGHT POLE FOOTINGS SHALL BE STAKED OUT IN THE FIELD AND APPROVED BY THE DEPARTMENT OF PARKS PRIOR TO INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY POLE LOCATIONS THAT ARE NOT PREVIOUSLY APPROVED.
- 17) COCHANTS FOR PERMANENT MAINTENANCE OF STORMWATER FACILITIES FORM AND AS-BUILT DRAWINGS FOR STORMWATER MANAGEMENT FACILITIES MUST BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHARLESTON SPECIFICATIONS BEFORE A CERTIFICATE OF CONSTRUCTION COMPLETION WILL BE APPROVED.
- 18) VISION CLEARANCE WAIVER SUBMITTED TO CITY OF CHARLESTON T & T DEPARTMENT.

NEW SECDOT ASPHALT PAVEMENT (TYP.)

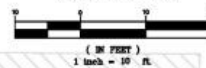
NEW SANITARY SEWER MANHOLE

TMS 464-14-00-123
GEORGE BELLOW
LOT 35 & PART OF LOT 40

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GRAPHIC SCALE



TMS 464-14-00-120
PARKER LANE PROPERTIES
LOTS 42-48 & 50
1 CUNNINGTON STREET
ZONED U

TWO STORY ALUMINUM BUILDING
VALVE REPAIR SHOP

**FORSBERG ENGINEERING
AND SURVEYING, INC.**
1807 SAVANNAH HIGHWAY SUITE B
CHARLESTON, SOUTH CAROLINA 29417
(803) 571-5822 FAX (803) 571-5826
CIVIL AND LAND PLANNING



PROPOSED SITE AND TRAFFIC PLAN
1426 MEETING STREET ROAD
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA



GADDEN A. LINTON III

DATE

JULY 16, 2019

DRAWN/CHECKED

CLH/MSJ

LAST REVISED

FEBRUARY 13, 2019

APPROVED

DCF

SCALE

1" = 10'

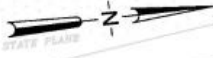
PROJECT NO.

S212

SHEET NUMBER

C300

OF TOTAL



POST DEVELOPMENT (0.31 ACRES)
PERVIOUS
BUILDING: 3,111 SQ.FT. (0.07 ACRES)
SIDEWALK: 1,122 SQ.FT. (0.02 ACRES)
ASPHALT DRIVE: 780 SQ.FT. (0.02 ACRES)
PERVIOUS
CONCRETE PAVERS: 4,720 SQ.FT. (0.11 ACRES)
GRASS/LANDSCAPE: 3,020 SQ.FT. (0.09 ACRES)
TOTAL: 13,650 SQ.FT. (0.31 ACRES)

PRE DEVELOPMENT (0.31 ACRES)
PERVIOUS
CONCRETE: 1,000 SQ.FT. (0.02 ACRES)
PERVIOUS
GRASS: 12,630 SQ.FT. (0.29 ACRES)
TOTAL: 13,630 SQ.FT. (0.31 ACRES)

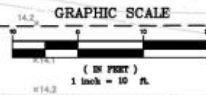
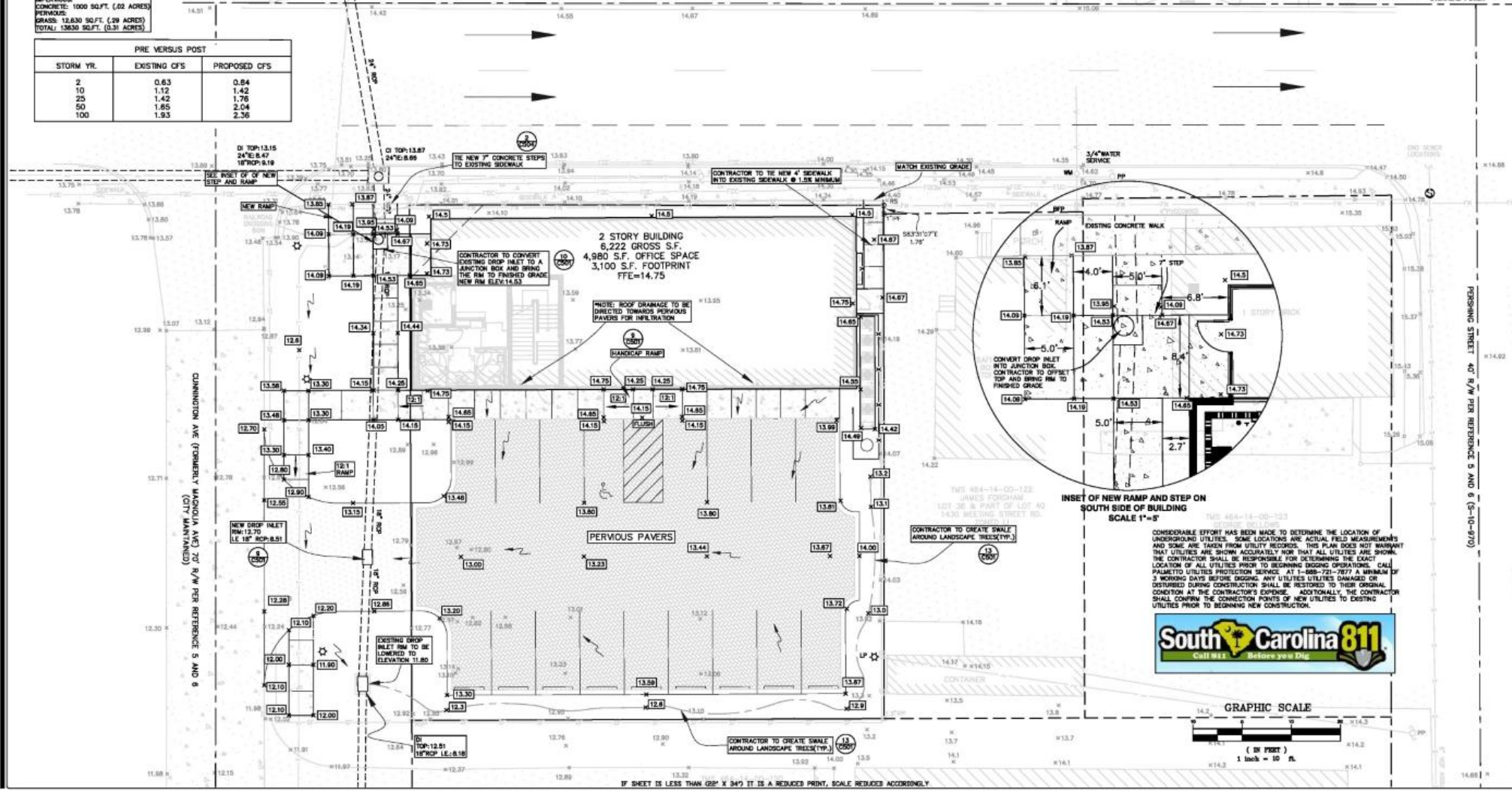
PRE VERSUS POST		
STORM YR.	EXISTING CFS	PROPOSED CFS
2	0.63	0.84
10	1.12	1.42
25	1.42	1.76
50	1.65	2.04
100	1.93	2.36

- GRADING AND UTILITY NOTES:
- 1) NEW STORM DRAINAGE AND SANITARY SEWER LINES SHALL BE Laid OUT AFTER CONSTRUCTION OF EXISTING INVERT ELEVATIONS.
 - 2) SEE SHEET C001 FOR SWAMP PHASING AND SEQUENCE OF CONSTRUCTION NOTES.
 - 3) SEE LANDSCAPE PLANS AND TREE LOCATIONS & HARDSCAPE LAYOUT.
 - 4) SEE SHEET C003 FOR SLOPE NOTES.
 - 5) SEE SHEET C002 FOR WATER SYSTEM NOTES.
 - 6) ALL WORK INVOLVING CPM'S LINES AND STRUCTURES SHALL BE DONE BY A CONTRACTOR FROM CPM'S "APPROVED CONTRACTORS" LIST.
 - 7) CONTRACTOR SHALL EXCAVATE EXISTING SANITARY SEWER LINE TO CONFIRM LOCATION & DEPTH FOR NEW FORCE MAIN CONNECTION.
 - 8) SIDEWALKS ARE TO BE ENTIRELY BROOK FINISHED.
 - 9) SEE ARCHITECTURAL PLANS FOR FINAL BUILDING DIMENSIONS AND LAYOUT.
 - 10) CONTRACTOR IS RESPONSIBLE OF ALL REQUIRED AS-BUILTS.

- 11) EXISTING AND NEW SSM, WM, WY, DRAINAGE, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO FINAL FINISHED GRADES. MINOR ADJUSTMENT MAY BE NECESSARY.
- 12) THE GENERAL CONTRACTOR(S) SHALL COORDINATE ALL WORK SUCH THAT ALL SANITARY, POTABLE WATER, A FIRE LINES ARE CONNECTED AND TESTED AS REQUIRED FOR A COMPLETED PROJECT. THE FIRE SUPPLY LINE AND ANY/ALL ELEMENTS OF THE FIRE SYSTEM SUCH AS REMOTE FDC SHALL BE IN ACCORDANCE WITH ALL CURRENT CODES AND SHALL BE CERTIFIED AND TESTED AS REQUIRED BY THE G.C. OR OTHER PROFESSIONALS WORKING FOR THE G.C. THE CIVIL ENGINEER WILL PROVIDE A FIRE SPRINKLER SPECIFICATION SHEET FOR THE SUPPLY LINE FROM THE MAIN TO WITHIN 5' OF THE BUILDING. THE SUPPLY LINE SHALL BE TESTED AS REQUIRED UNDER SPEC SECTION 311.03. THE CIVIL ENGINEER DOES NOT SPECIFY OR DESIGN ANY ELEMENTS OF THE FIRE CONTROL SYSTEM. ALL PORTIONS OF THE SUPPLY LINE & FIRE SYSTEM SHALL BE TESTED BY THE G.C. AND CERTIFIED IN ACCORDANCE WITH NFPA 24 AND LATEST VERSION OF THE B.C.
- 13) PRIOR TO PAVING, CONTRACTOR SHALL VERIFY THAT FINE GRADED BASE COURSE MEETS REQUIRED GRADES SUCH AS TO AVOID "BIRD BATH" AREAS ON FINAL PAVEMENT.
- 14) A COVENANTS OF PERMANENT MAINTENANCE OF STORMWATER FACILITIES FORM AND AS-BUILT AND DRAINAGE EXISTING DRAINAGE FOR STORMWATER MANAGEMENT FACILITIES MUST BE COMPLETED IN ACCORDANCE WITH CITY OF CHARLOTTE SPECIFICATIONS BEFORE A NOTICE OF TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL BE APPROVED.
- 15) CONTRACTOR SHALL PROVIDE CONDUIT TO NEW LIGHTPOLES ON DUNNINGTON AVE. CONDUIT SHALL BE 1/2" DIAMETER SCHEDULE 40 EMBEDDED 18" DEEP STUBBED UP AT EACH LIGHT WITH A PULL STRING. DO NOT BACKFILL BEFORE DOMINION ENERGY INSPECTS. CONTRACTOR SHALL ALSO INSTALL BASES FOR ALL NEW STREET LIGHTS.
- 16) OWNER TO MAINTAIN AND CLEAN PERVIOUS SURFACE TO MANUFACTURER'S RECOMMENDATIONS.

- LEGEND
- PP POWER POLE
SSCO SANITARY SEWER CLEAN OUT
DI DITCH INLET
WM WATER METER
DP DUCTILE IRON PIPE
SSMH SANITARY SEWER MANHOLE
CI CURB INLET
BFP BACK FLOW PREVENTER
- LINE LEGEND
- FDC FIBER OPTIC
FM TELECOMMUNICATIONS
FM FORCE MAIN
NW NEW WATER LINE
NS NEW SEWER LINE
NS OVERHEAD POWER

MEETING STREET ROAD US 52 PER REF. 8 R/W IS 41' FROM CENTERLINE ROAD
SPEED LIMIT = 40 MPH



**FORSBERG ENGINEERING
AND SURVEYING, INC.**
1807 SAVANNAH HIGHWAY SUITE B
CHARLOTTE, SOUTH CAROLINA 28417
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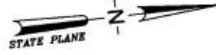
GRADING AND DRAINAGE PLAN
1426 MEETING STREET ROAD
CITY OF CHARLOTTE
CHARLOTTE COUNTY, SOUTH CAROLINA

GADDEN A. LINTON III
DATE: JULY 16, 2019
DRAWN/CHECKED: CLM/MSJ
LAST REVISED: FEBRUARY 13, 2019
APPROVED: DCF
SCALE: 1" = 10'
PROJECT NO.: S212
SHEET NUMBER: C400
OF TOTAL

LEGEND

PP	POWER POLE
SSSO	SANITARY SEWER CLEAN OUT
DI	DITCH INLET
WM	WATER METER
DP	DUCTILE IRON PIPE
SSMH	SANITARY SEWER MANHOLE
CI	CURB INLET
BPP	BACK FLOW PREVENTER

LINE LEGEND		
FDC	FDC	FIBER OPTIC
T	T	TELECOMMUNICATIONS
FM	FM	TEXT
NW	NW	NEW WATER LINE
NS	NS	NEW SEWER LINE
		OVERHEAD POWER



GRADING AND UTILITY NOTES:

- 1) NEW STORM DRAINAGE AND SANITARY SEWER LINES SHALL BE LAID OUT AFTER CONFIRMATION OF EXISTING INVERT ELEVATIONS.
- 2) SEE SHEET C001 FOR SWPPP PHASING AND SEQUENCE OF CONSTRUCTION NOTES.
- 3) SEE LANDSCAPE PLANS AND TREE LOCATIONS & HANDSCAPE LAYOUT.
- 4) SEE SHEET C003 FOR SEWER NOTES.
- 5) SEE SHEET C002 FOR WATER SYSTEM NOTES.
- 6) ALL WORK INVOLVING CPV'S LINES AND STRUCTURES SHALL BE DONE BY A CONTRACTOR FROM CPV'S "APPROVED CONTRACTORS" LIST.
- 7) CONTRACTOR SHALL EXCAVATE EXISTING SANITARY SEWER LINE TO CONFIRM LOCATION & DEPTH.
- 8) SIDEWALKS ARE TO BE ENTIRELY BROOM FINISHED.
- 9) SEE ARCHITECTURAL PLANS FOR FINAL BUILDING DIMENSIONS AND LAYOUT.
- 10) CONTRACTOR IS RESPONSIBLE OF ALL SWPPP AS-BUILTS.

- 11) EXISTING AND NEW SSMH, WM, WV, DRAINAGE, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO FINAL FINISHED GRADES. MINOR ADJUSTMENT MAY BE NECESSARY.
- 12) THE GENERAL CONTRACTOR(G.C.) SHALL COORDINATE ALL WORK SUCH THAT ALL SANITARY, POTABLE WATER, & FIRE LINES ARE CONNECTED AND TESTED AS REQUIRED FOR A COMPLETED PROJECT. THE FIRE SUPPLY LINE AND ANY/ALL ELEMENTS OF THE FIRE SYSTEM SUCH AS REMOTE FDC SHALL BE IN ACCORDANCE WITH ALL CURRENT CODES AND SHALL BE CERTIFIED AND TESTED AS REQUIRED BY THE G.C. OR OTHER PROFESSIONALS WORKING FOR THE G.C. THE CIVIL ENGINEER WILL PROVIDE A FIRE SPRINKLER SPECIFICATION SHEET FOR THE SUPPLY LINE FROM THE MAIN TO WITHIN 5' OF THE BUILDING. THE SUPPLY LINE SHALL BE TESTED AS REQUIRED UNDER SPEC SECTION 05100. THE CIVIL ENGINEER DOES NOT SPECIFY OR DESIGN ANY ELEMENTS OF THE FIRE CONTROL SYSTEM. ALL PORTIONS OF THE SUPPLY LINE & FIRE SYSTEM SHALL BE TESTED BY THE G.C. AND CERTIFIED IN ACCORDANCE WITH NFPA 24 AND LATEST VERSION OF THE IBC.
- 13) PRIOR TO PAYING, CONTRACTOR SHALL VERIFY THAT FINE GRADED BASE COURSE MEETS REQUIRED GRADES SUCH AS TO AVOID "THIRD BATH" AREAS ON FINAL PAVEMENT.
- 14) A COVENANTS OF PERMANENT MAINTENANCE OF STORMWATER FACILITIES FORM AND AS-BUILT AND DRAINAGE EASEMENT DRAWINGS FOR STORMWATER MANAGEMENT FACILITIES MUST BE COMPLETED IN ACCORDANCE WITH CITY OF CHARLESTON SPECIFICATIONS BEFORE A NOTICE OF TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL BE APPROVED.
- 15) CONTRACTOR SHALL PROVIDE CONDUIT TO NEW LIGHTPOLES ON CUNNINGHAM AVE. CONDUIT SHALL BE 2" DIAMETER SCHEDULE GRAY BURNED 36" DEEP STUBBED UP AT EACH LIGHT WITH A PULL STRING. DO NOT BACKFILL BEFORE DOWNHOLE ENERGY INSPECTS. CONTRACTOR SHALL ALSO INSTALL BASES FOR ALL NEW STREET LIGHTS.
- 16) OWNER TO MAINTAIN AND CLEAN PAVEMENT SURFACE TO MANUFACTURER'S RECOMMENDATIONS.



CONSIDERABLE EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES. SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS. THIS PLAN DOES NOT WARRANT THAT UTILITIES ARE SHOWN ACCURATELY NOR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING DIGGING OPERATIONS. CALL PALMETTO UTILITIES PROTECTION SERVICE AT 1-800-721-7877 A MINIMUM OF 3 WORKING DAYS BEFORE DIGGING. ANY UTILITIES UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ADDITIONALLY, THE CONTRACTOR SHALL CONFIRM THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.

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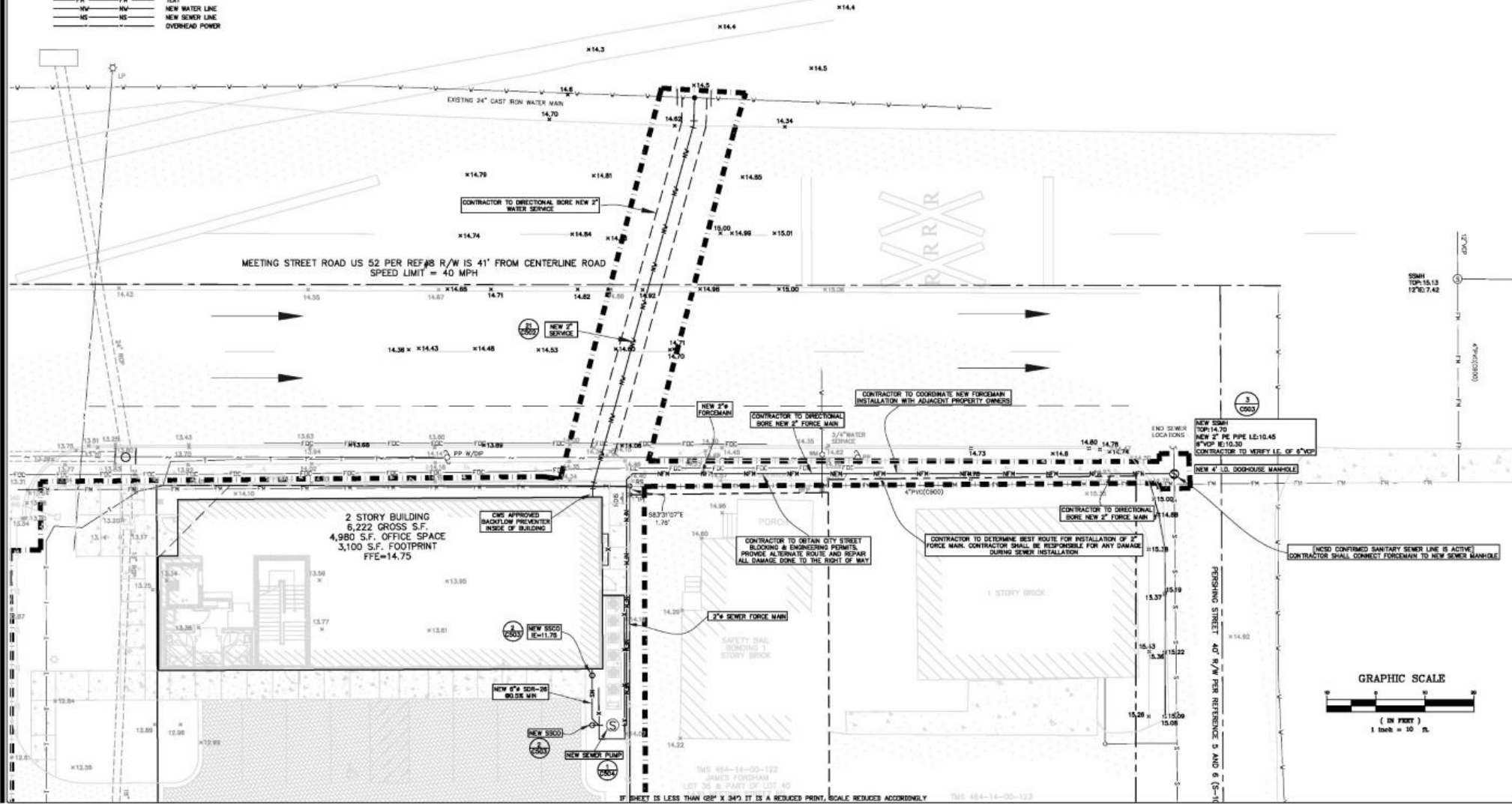


UTILITY PLAN
1426 MEETING STREET ROAD
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA



GADSDEN A. LINTON III
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SCDHEC STANDARD SWPPP NOTES

1. IF NECESSARY, SLOPE, WHICH EXCEEDS 8% IN VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRIVING DURING CONSTRUCTION. TEMPORARY SEEDING MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.

2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES ARE TEMPORARILY OR PERMANENTLY CEASED. BUT IN NO CASE MORE THAN FORTY-FOUR (44) DAYS AFTER WORK HAS CEASED, EXCEPT AS NOTED BELOW.

• WHERE STABILIZATION BY THE 44-DAY IS PRECLUDED BY SHOW COVER OR FROZEN GROUND CONDITIONS

• STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.

• WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-RESTORATION ACTIVITIES WILL BE REQUIRED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EACH CALENDAR EVERY WEEK, IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INADEQUATELY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR REPAIR/REVISION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.

4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SEDIMENT DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEARED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FULL COVER AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.

5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL SEDIMENT ON AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS DURING CONSTRUCTION. AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE SEDIMENT FROM PAVED AREAS, AS MAY BE REQUIRED.

7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOTS. CONSTRUCTION SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN ALTERNATE PLAN FROM THE LOCAL GOVERNMENT. ACCORDANCE WITH SCS, 220, 201 SET, AND SC800000.

8. TEMPORARY DIVERSION DRENCHES AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPLAND RUNOFF AND/OR TO DIVERT SEDIMENT LOADS NEAR TO APPROPRIATE TRAPS OR STABLE OUTLETS.

9. ALL WATERS OF THE STATE (WELLS, INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANNOT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WQS. A 50-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WQS.

10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FREELY TREATED LUMBER AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGE.

11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE ON A NEARLY DAILY BASIS. EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.

12. INITIAL STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (5% OR GREATER) WHERE LAND-RESTORATION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.

13. MINIMIZE SOIL COMPACTION AND, UNLESS INEVITABLE, PRESERVE TOPSOIL.

14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATER. WASH WATER SHALL BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.

15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DRAINAGE OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMP (SEDIMENT BASIN, FILTER BAG, ETC.).

16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:

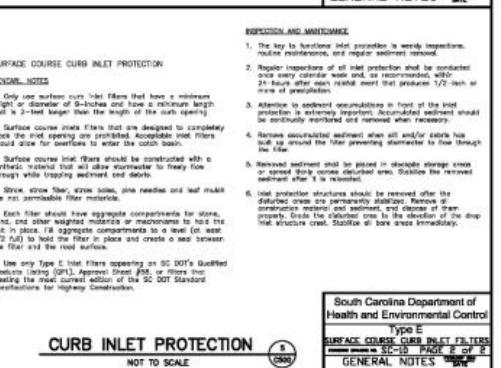
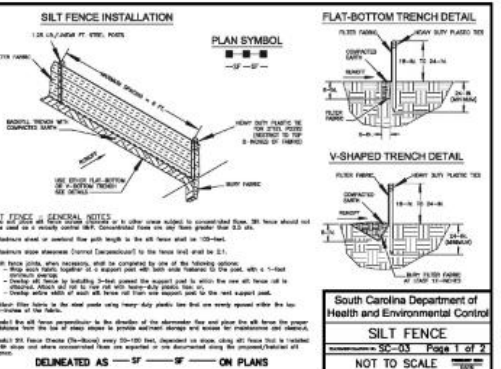
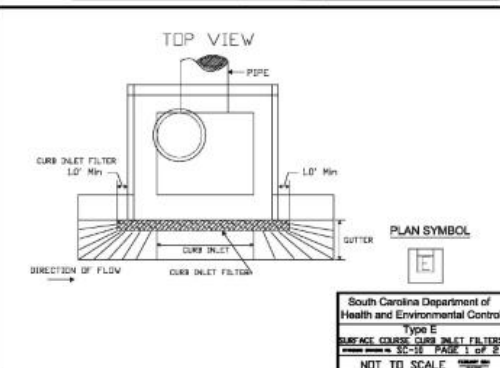
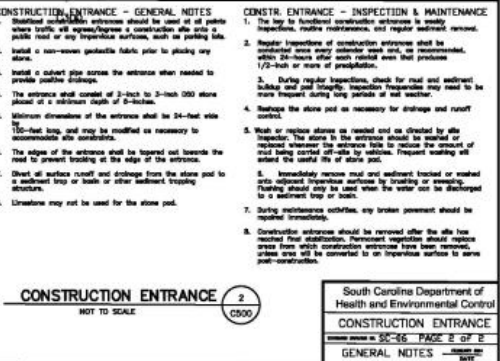
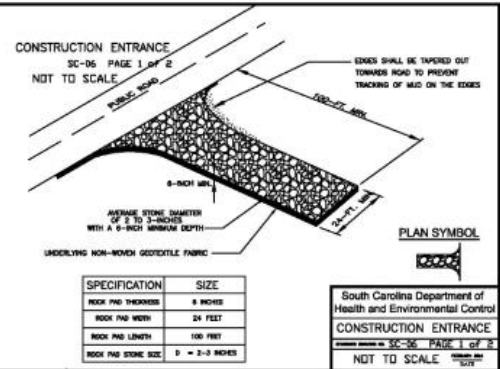
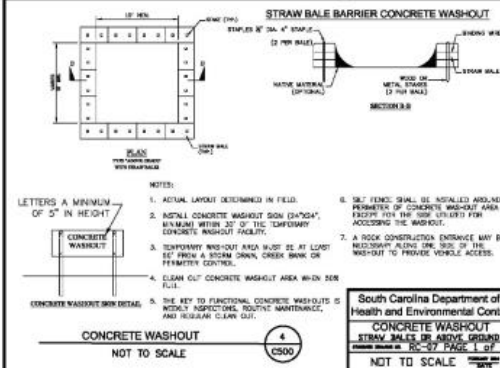
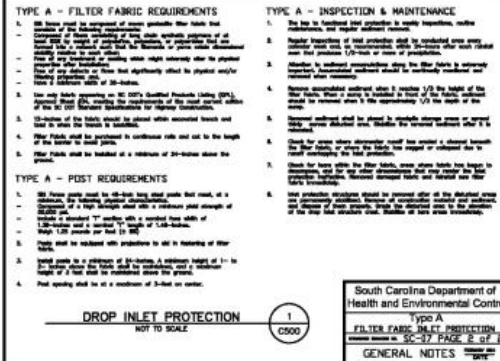
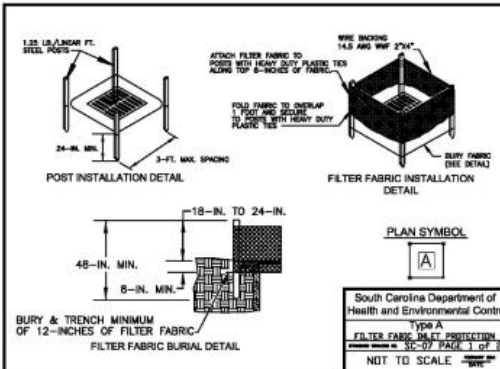
- WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
- FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
- SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.

17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR MONTH. INSPECTIONS MUST BE CONDUCTED BEFORE THE NEXT STORM EVENT CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.

18. IF EXISTING BMP NEED TO BE MODIFIED OR IF ADDITIONAL BMP ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SCS WATER QUALITY STANDARDS, MODIFICATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMP MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.

19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-URBAN PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE. UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

SCDHEC STANDARD DRAWING DETAILS HAVE BEEN REDUCED TO FIT ON PAGE. FULL SIZE DETAILS ARE AVAILABLE AT: http://www.scdhec.gov/environment/DOC/APPENDIX_J_LPDF



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CIVIL AND LAND PLANNING

FOR THE CITY OF CHARLESTON
1426 MEETING STREET ROAD
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA

SWPPP NOTES AND DETAILS

DATE
JULY 9, 2018

DRAWN/CHECKED
CLH/MSJ

LAST REVISED
FEBRUARY 13, 2019

APPROVED
DCF

SCALE

PROJECT NO.
S212

SHEET NUMBER
C500

GADEEN A. LINTON III

DATE
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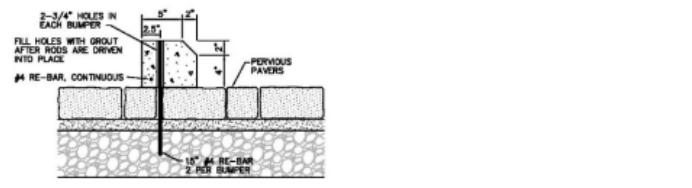
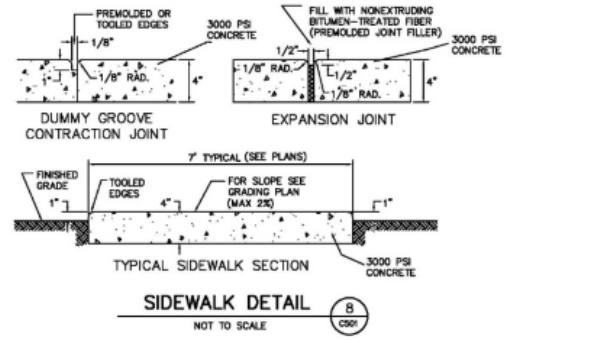
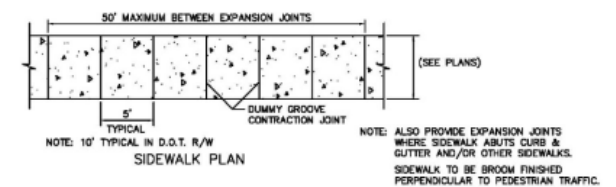
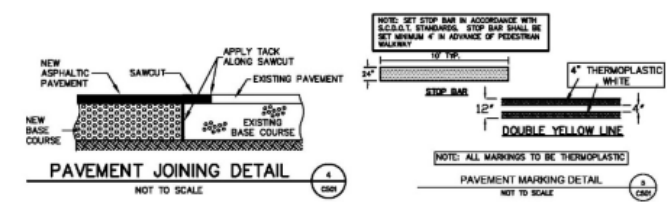
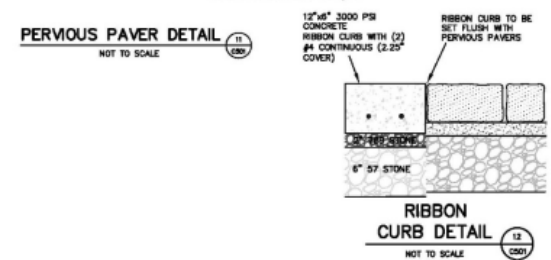
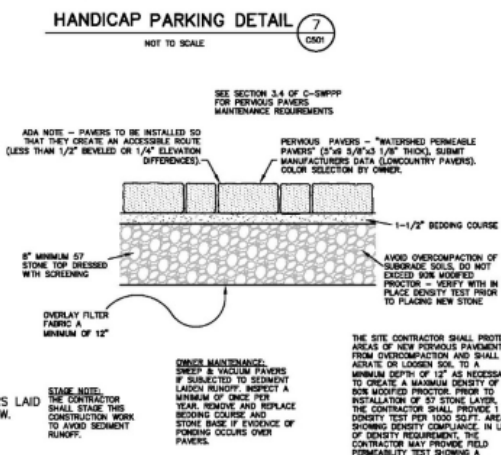
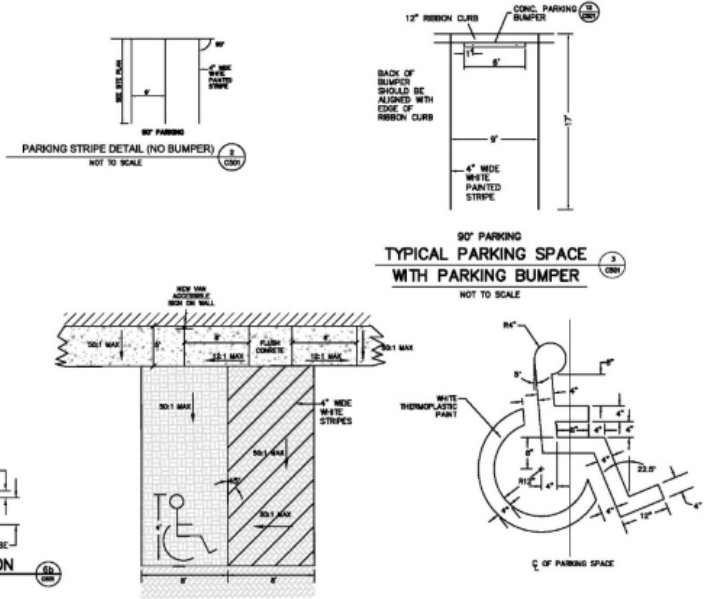
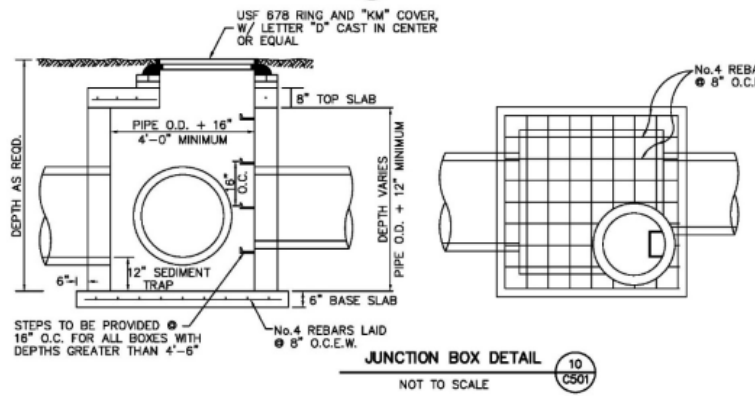
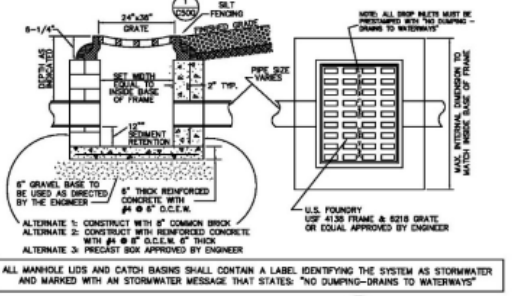
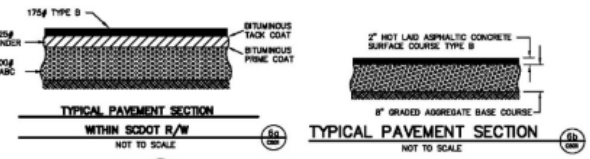
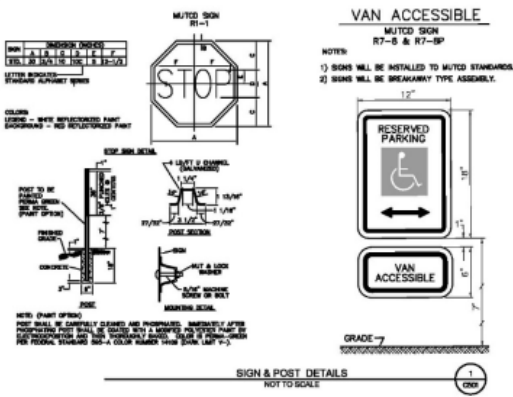
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S212

SHEET NUMBER
C500



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CIVIL AND LAND PLANNING

REGISTERED PROFESSIONAL ENGINEER
SOUTH CAROLINA
No. 000342

CONSTRUCTION DETAILS
1426 MEETING STREET ROAD
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA

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S212

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C501

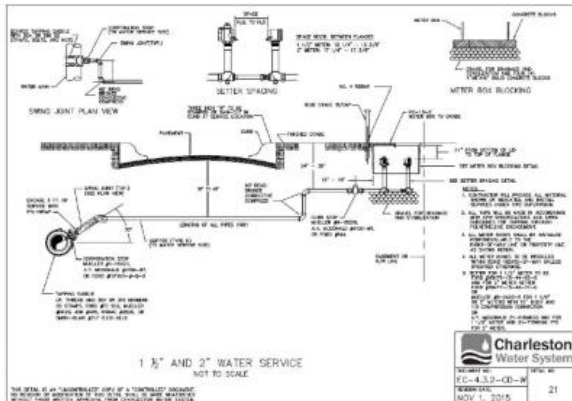
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NOTES FOR WATER SYSTEM

1. THESE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH "NEW ENGLAND STANDARD" ELEVATED RESIDUAL AND CHARLESTON WATER SYSTEMS' STANDARD SPECIFICATIONS FOR THE DESIGN, CONSTRUCTION, OF WATER AND SEWERAGE SYSTEMS' AND FORMS BY THE AMERICAN WATER WORKS ASSOCIATION (AWWA) AND THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE).
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS. THIS INCLUDING A SLIDE SHALL BE NO CLOSER TO A JOINT THAN 4 FEET.
3. SLIDE JOINTS SHALL BE USED ONLY ON METAL PIPE. CONTRACTOR SHALL NOTIFY AND SUBMIT A MINIMUM OF 10 DAYS BEFORE ALL SLIDE JOINTS ARE TO BE USED.
4. SLIDE JOINTS SHALL BE USED ONLY ON METAL PIPE. CONTRACTOR SHALL NOTIFY AND SUBMIT A MINIMUM OF 10 DAYS BEFORE ALL SLIDE JOINTS ARE TO BE USED.
5. CONTRACTOR SHALL MAINTAIN MINIMUM 30" - 40" COVER OVER TOP OF PIPE.
6. ALL COMPONENTS OF THE WATER SYSTEM SHALL BE NEW DOUBLE RIBBON AND ENCLOSED WITH LINER UNLESS OTHERWISE SPECIFIED.
7. ALL JOINTS AND FITTINGS SHALL BE USED ONLY ON METAL PIPE. CONTRACTOR SHALL NOTIFY AND SUBMIT A MINIMUM OF 10 DAYS BEFORE ALL SLIDE JOINTS ARE TO BE USED.
8. METAL PIPE SHALL BE USED ONLY ON METAL PIPE. CONTRACTOR SHALL NOTIFY AND SUBMIT A MINIMUM OF 10 DAYS BEFORE ALL SLIDE JOINTS ARE TO BE USED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS. THIS INCLUDING A SLIDE SHALL BE NO CLOSER TO A JOINT THAN 4 FEET.
10. USE OF METAL PIPE SHALL BE USED ONLY ON METAL PIPE. CONTRACTOR SHALL NOTIFY AND SUBMIT A MINIMUM OF 10 DAYS BEFORE ALL SLIDE JOINTS ARE TO BE USED.
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1 1/2" AND 2" WATER SERVICE
NOT TO SCALE



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CWS CONSTRUCTION DETAILS
1426 MEETING STREET ROAD
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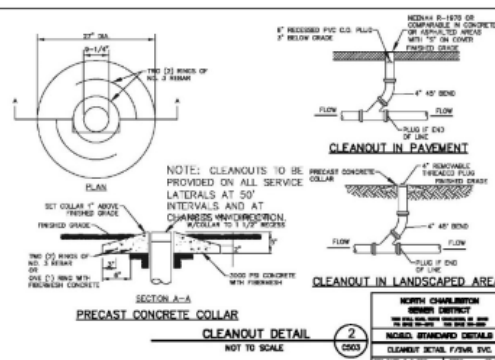
PROJECT NO.
5212

SHEET NUMBER

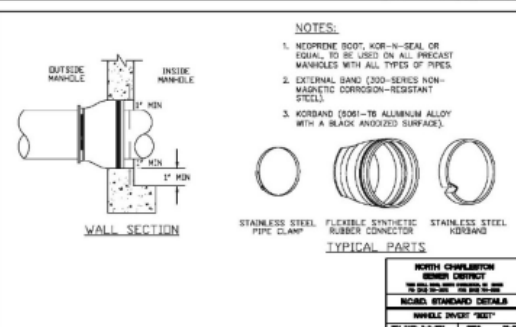
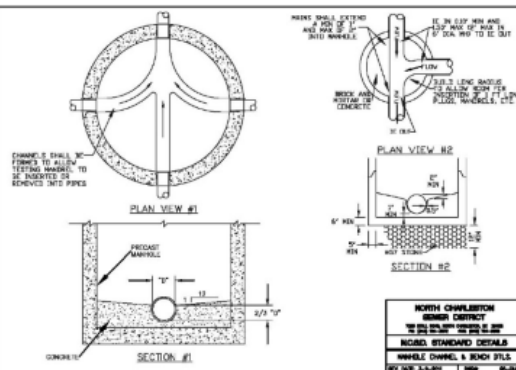
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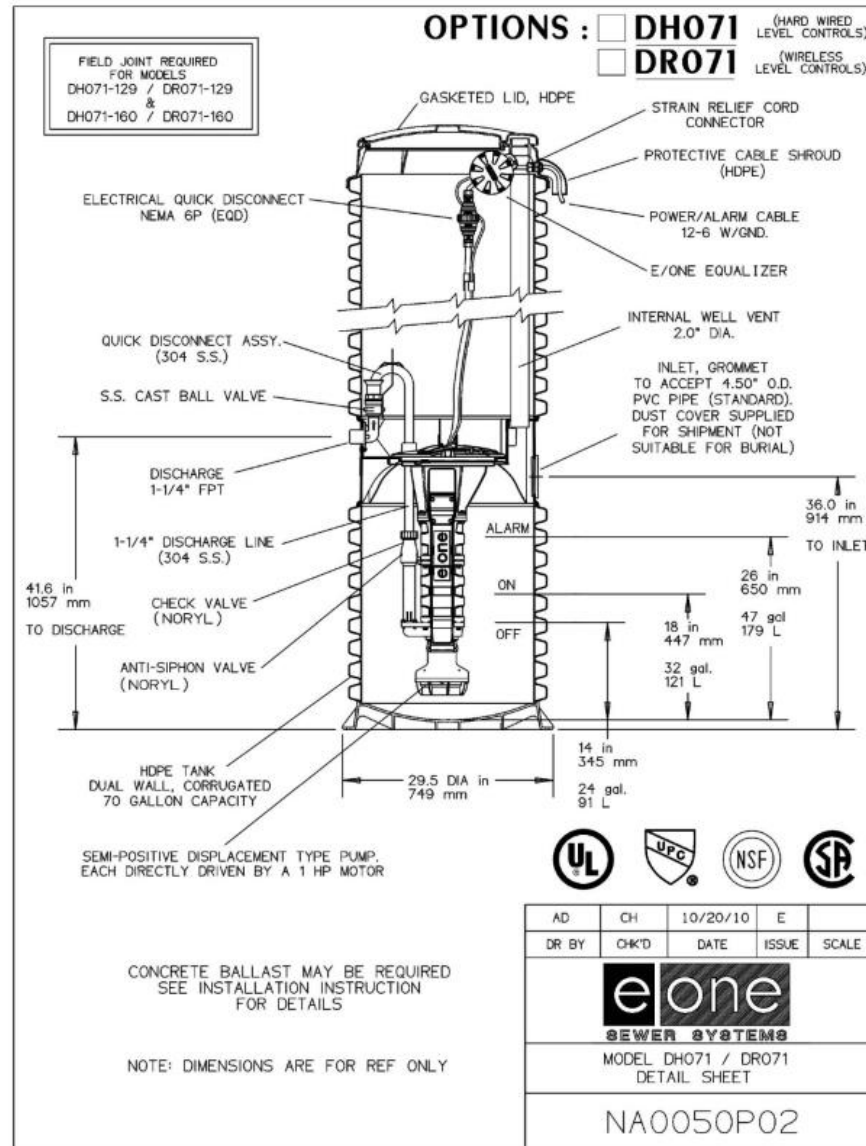
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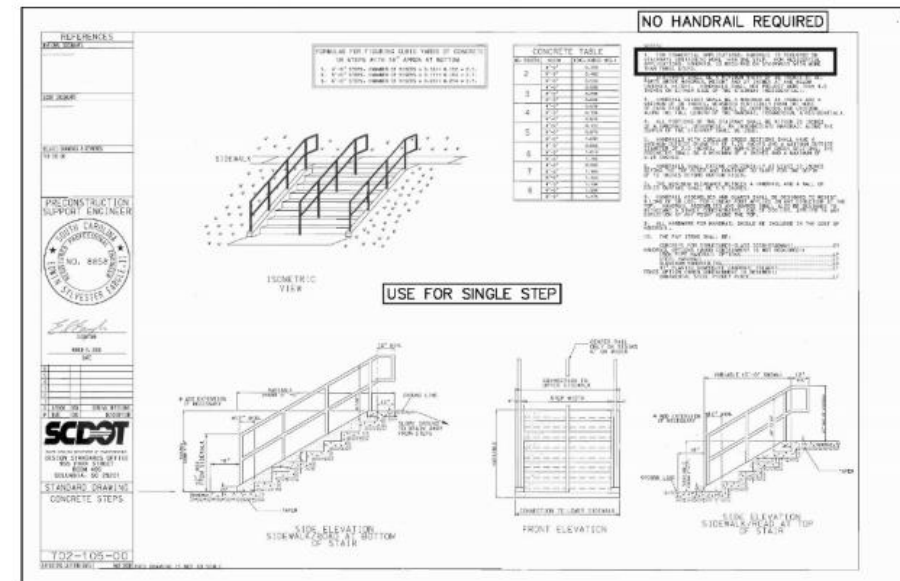
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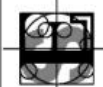


SEWER PUMP DETAIL

NOT TO SCALE



FORBERG ENGINEERING AND SURVEYING, INC.
 1987 SATELLITE DRIVE, SUITE 8
 CHARLESTON, SOUTH CAROLINA 29417
 P.O. BOX 3000
 CIVIL ENGINEERING, SURVEYING
 AND LAND PLANNING



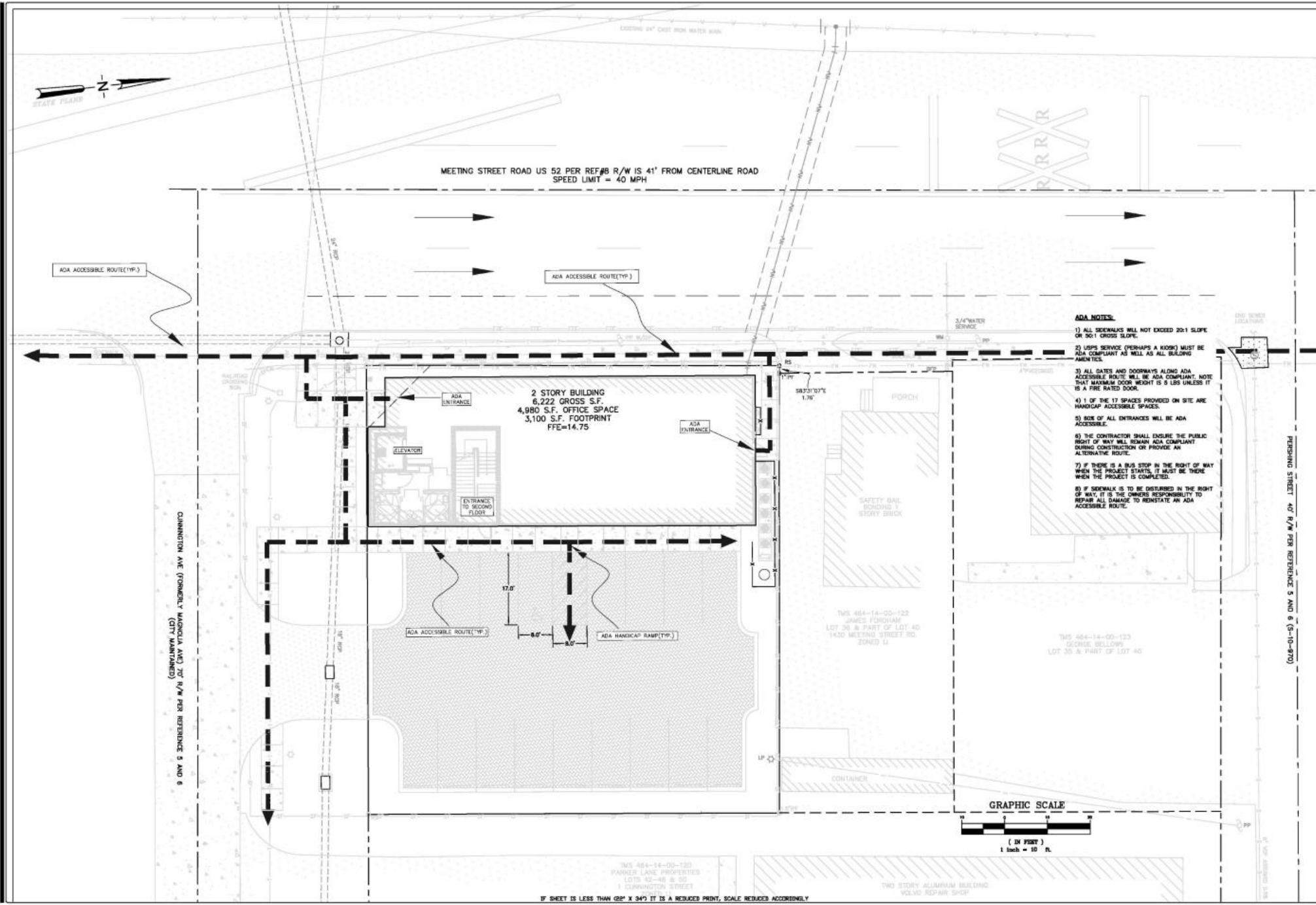
SEWER PUMP DETAIL
 1426 MEETING STREET ROAD
 CITY OF CHARLESTON
 CHARLESTON COUNTY, SOUTH CAROLINA



GARDEN A. LINTON III
 DATE
 JULY 9, 2018
 DRAWN/CHECKED
 CLH/MSJ
 LAST REVISED
 FEBRUARY 13, 2019
 APPROVED
 DCF
 SCALE
 NTS
 PROJECT NO.
 5212
 SHEET NUMBER

C504

OF TOTAL



MEETING STREET ROAD US 52 PER REF#8 R/W IS 41' FROM CENTERLINE ROAD
SPEED LIMIT = 40 MPH

ADA ACCESSIBLE ROUTE(TYP.)

ADA ACCESSIBLE ROUTE(TYP.)

2 STORY BUILDING
6,222 GROSS S.F.
4,980 S.F. OFFICE SPACE
3,100 S.F. FOOTPRINT
FFE=14.75

ADA ACCESSIBLE ROUTE(TYP.)

ADA HANDICAP RAMP(TYP.)

ADA NOTES:

- 1) ALL SIDEWALKS WILL NOT EXCEED 20:1 SLOPE OR 50:1 CROSS SLOPE.
- 2) USPS SERVICE (PERHAPS A KIOSK) MUST BE ADA COMPLIANT AS WELL AS ALL BUILDING AMENITIES.
- 3) ALL GATES AND DOORWAYS ALONG ADA ACCESSIBLE ROUTE WILL BE ADA COMPLIANT. NOTE THAT MAXIMUM DOOR HEIGHT IS 8' UNLESS IT IS A FIRE RATED DOOR.
- 4) 1 OF THE 17 SPACES PROVIDED ON SITE ARE HANDICAP ACCESSIBLE SPACES.
- 5) SIDE OF ALL ENTRANCES WILL BE ADA ACCESSIBLE.
- 6) THE CONTRACTOR SHALL ENSURE THE PUBLIC RIGHT OF WAY WILL REMAIN ADA COMPLIANT DURING CONSTRUCTION OR PROVIDE AN ALTERNATIVE ROUTE.
- 7) IF THERE IS A BUS STOP IN THE RIGHT OF WAY WHEN THE PROJECT STARTS, IT MUST BE THERE WHEN THE PROJECT IS COMPLETED.
- 8) IF SIDEWALK IS TO BE DISTURBED IN THE RIGHT OF WAY, IT IS THE OWNERS RESPONSIBILITY TO REPAIR ALL DAMAGE TO REINSTATE AN ADA ACCESSIBLE ROUTE.

GRAPHIC SCALE



**FORSBERG ENGINEERING
AND SURVEYING, INC.**
1807 SAVANNAH HIGHWAY SUITE B
CHARLESTON, SOUTH CAROLINA 29417
(803) 571-2822 FAX (803) 571-4598
CIVIL AND LAND PLANNING



ADA ACCESSIBILITY PLAN
1426 MEETING STREET ROAD
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA



GAUSDEN A. LINTON III

DATE

JULY 16, 2019

DRAWN/CHECKED

CLH/MSJ

LAST REVISED

FEBRUARY 13, 2019

APPROVED

DCF

SCALE

1" = 10'

PROJECT NO.

S212

SHEET NUMBER

C600

OF TOTAL



FIRE PROTECTION PLAN
1426 MEETING STREET ROAD
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA



GADDEN A. LINTON III
DATE
JULY 16, 2019
DRAWN/CHECKED
CLH/MSJ
LAST REVISED
FEBRUARY 13, 2019
APPROVED
DCF
SCALE
1" = 20'
PROJECT NO.
S212
SHEET NUMBER

C700

OF TOTAL

EXISTING FIRE HYDRANT

LINE LEGEND

---	FDC	FIBER OPTIC
---	T	TELECOMMUNICATIONS
---	FW	TEXT
---	NW	NEW WATER LINE
---	NS	NEW SEWER LINE
---	OP	OVERHEAD POWER

LEGEND

PP	POWER POLE
SSCO	SANITARY SEWER CLEAN OUT
DI	DITCH INLET
WM	WATER METER
DR	DUCTILE IRON PIPE
SSMH	SANITARY SEWER MANHOLE
CI	CURB INLET
BFP	BACK FLOW PREVENTER

NEW PROJECT HYDROSTATIC FIELD TEST FORM

REQUESTOR: **Brad Stansell** COMPANY: **Eagle Fire**
PROJECT / LOCATION: **1304 Meeting Street**
DATE: **2/1/2019** TIME: **9:42am**
PERSONNEL: **Gatfield / Beasley**

Static and Residual Hydrant

HYDRANT NO.: **03-C06-26875** HYDRANT LOCATION: **across from 1304 Meeting**
STATIC PRESSURE = **44 PSI**
RESIDUAL PRESSURE = **40 PSI**

Flow Hydrant No. 1

HYDRANT NO.: **03-C06-2687** MAIN SIZE: **24"** HYDRANT LOCATION: **across from 1330 Meeting**
OUTLETS USED: **2** OUTLET SIZE: **2 1/2"**
FLOW RATE PER OUTLET = **18 GPM** **712 GPM**
TOTAL FLOW RATE = **1424 GPM**
FLOW DURATION = **3 MIN.** TOTAL GALLONS = **4272**

Flow Hydrant No. 2

HYDRANT NO.: **03-C06-2687** MAIN SIZE: **24"** HYDRANT LOCATION: **across from 1330 Meeting**
OUTLETS USED: **0** OUTLET SIZE: **0"**
FLOW RATE PER OUTLET = **0 GPM** **0 GPM**
TOTAL FLOW RATE = **0 GPM**
FLOW DURATION = **2 MIN.** TOTAL GALLONS = **0**

Test Results

STATIC PRESSURE = **44 PSI** TOTAL GALLONS = **4272**
RESIDUAL PRESSURE = **40 PSI** Q20 = **3747**
TOTAL FLOW RATE = **1424 GPM**

FIRE PROTECTION PLAN NOTES

- 1) BUILDING CONSTRUCTION TYPE V-B. DEVELOPER TO REQUEST A BOARD OF APPEALS VARIANCE TO ALLOW TYPE OF CONSTRUCTION WITHIN FIRE DISTRICT. APPROVAL FOR THIS TYPE OF CONSTRUCTION WAS ON 1/14/2020.
- 2) 2 STORES
6,352 GROSS SQ.FT.
4,880 OFFICE SPACE SQ.FT.
3,100 FOOTPRINT SQ.FT.
NO VAULTS, PITS OR FUEL TANKS EXCEPT FOR ELEVATOR PIT
- 3) THIS PROJECT WILL NOT INCLUDE A FIRE SPRINKLER SYSTEM.
- 4) HYDRAULIC ELEVATOR IN BUILDING LOBBY. HYDRAULIC FLUID CAPACITY TO BE DETERMINED WITH FINAL ELEVATOR SPEC.
- 5) THERE ARE 2 EXISTING FIRE HYDRANTS WITHIN 500' OF THIS SITE.
- 6) THE EXISTING HYDRANT IS ON MEETING STREET ROAD ON A 24" WATER MAIN.
- 7) A FIRE FLOW TEST IS PROVIDED. SEE SHEET C700, AVAILABLE FLOW IS 2747 @ 20 PSI.
- 8) THE BUILDING WILL BE ACCESSIBLE FROM DUNNINGTON AVE AND MEETING STREET ROAD.
- 9) THERE IS NO KNOX BOX AT THIS TIME.
- 10) INDIVIDUAL SITES WITHIN THE BUILDING WILL INCLUDE SUITE DESIGNATION IN A MINIMUM 4" NUMBER STREET MARKERS SHALL INCLUDE THE SITE ADDRESS (#1426 MEETING STREET ROAD).
- 11) ACCORDING TO THE IFC APPENDIX B, TABLE B102.1 THE REQUIRED FIRE FLOW FOR THE 6,352 SQ.FT. TYPE V-B CONSTRUCTION IS GPM 2250 @ 20 PSI FOR A DURATION OF 2 HOURS.

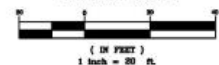
CIVIL ENGINEER NOTE

THERE IS INFORMATION ON THIS SHEET THAT DOES NOT FALL WITHIN THE SCOPE OF WORK BY THE CIVIL ENGINEER AND WAS PROVIDED BY THE BUILDING DESIGNER. THE BUILDING INFORMATION OR FIRE DEMAND ARE ONLY INCLUDED IN THIS CIVIL ENGINEERING SET BECAUSE THEY ARE REQUIRED BY THE CITY OF CHARLESTON FIRE MARSHAL OFFICE FOR TRC APPROVAL. THE ENGINEER DOES NOT CERTIFY THAT THE INFORMATION IS CORRECT.

CONSIDERABLE EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES. SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS. THIS PLAN DOES NOT WARRANT THAT UTILITIES ARE SHOWN ACCURATELY NOR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING DIGGING OPERATIONS. CALL PALMETTO UTILITIES PROTECTION SERVICE AT 1-888-725-1877 A MINIMUM OF 3 WORKING DAYS BEFORE DIGGING. ANY UTILITIES UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ADDITIONALLY, THE CONTRACTOR SHALL CONFIRM THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.



GRAPHIC SCALE



TOPSOIL
SPREAD EVENLY 2" TOPSOIL AT ALL NEWLY
PLANTED AREAS.
MULCH 3" SHREDDED BLACK HARDWOOD MULCH
NOTE: CONTRACTOR TO VERIFY COUNTS FROM ACTUAL PLAN.

MITIGATION TREES (27.5") REQUIRED/20" PROVIDED ON PLAN RESIDUAL 7.5" WILL BE DONATED TO THE CITY OF CHARLESTON TREE BANK				
QN	QUERCUS NUTTALL	NUTTALL OAK	5" CAL.	4
STREET TREES				
QV2	QUERCUS VIRGINIANA	LIVE OAK	4" CAL.	3

CODE	PLANT SCHEDULE	COMMON NAME	HEIGHT/SIZE	QUANTITY
TREES				
NS	NYSSA SYLVATICA	BLACK GUM	2.5" CALIPER	4
OS	QUERCUS SCHUMARDII	SCHUMARD OAK	2.5" CALIPER	3
SHRUBS				
SM	SABAL PALMETTO	DWARF PALMETTO	3 GAL 3"	35
SR	SERENOA REPENS 'GREEN'	GREEN SAW PALMETTO	3 GAL 3"	10
IV	ILEX VOMITORIA	YALPON HOLLY	7 GAL	4
LO	LOMANDRA	BREEZE GRASS	3 GAL	15
TA	TRACHELOSPERMUM ASIATICUM	ASIAN JASMINE	6" POTS	69
PY	PAPYRUS	PAPYRUS	1 GAL	

IRRIGATION NOTES

- THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
- THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
- ALL PLANTED AREAS SHALL BE IRRIGATED BY AN AUTOMATIC LANDSCAPE IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED BY IRRIGATION CONTRACTOR. CONTRACTOR SHALL VERIFY AMOUNT OF WATER METERS NEEDED ON-SITE FOR APPROVAL.
- LANDSCAPE CONTRACTOR SHALL COORDINATE PIPING AND CONNECTION TO AN EX. OR NEW APPROVED WATER METERS.
- PIPE SLEEVES SHALL BE INSTALLED BY IRRIGATION CONTRACTOR AS NECESSARY. COORDINATE WITH GENERAL CONTRACTOR.
- IRRIGATION TIME CLOCK AND POWER SUPPLY LOCATION SHALL BE COORDINATED WITH OWNER.
- EXISTING ECOLOGY AND AESTHETICS WILL OFTEN CAUSE ADJUSTMENT OF THESE PLANS TO FIT SITE. STAKE OUT BY CONTRACTOR AND FIELD ADJUSTMENT BY LANDSCAPE ARCHITECT ARE ABSOLUTELY NECESSARY.
- IRRIGATION SYSTEM SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
- THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE AND/OR RESPECT UTILITY LOCATIONS IS THE SOLE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.

PLANT SHALL BEAR SAME RELATIONSHIP TO FRESH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



DETAIL - SHRUB PLANTING
NO SCALE

PLANT GUARANTEE

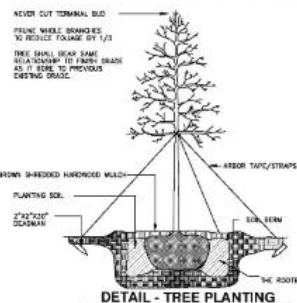
LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NEW PLANT MATERIAL'S HEALTH UNTIL FINAL ACCEPTANCE BY OWNER. OWNER RESERVES THE RIGHT TO REJECT ANY DEAD OR DECLINING PLANT MATERIAL AT FINAL INSPECTION.

CLEARING OF DEBRIS

LANDSCAPE CONTRACTOR SHALL CLEAR ALL PROPOSED PLANTED AREAS OF ALL ROCKS AND DEBRIS BEFORE PLANTING.

UNDERGROUND UTILITIES

SEE CONSTRUCTION PLANS



DETAIL - TREE PLANTING
NO SCALE

NOTE 1: TREES PLANTED IN THE R.O.W. MUST BE CONTAINER GROWN
OR FROM AN APPROVED B & B SOURCE
TREES PLANTED IN THE R.O.W. MUST
MEET ANI A NURSERY STOCK STANDARDS, AND SPECIES SELECTION
MUST BE APPROVED BY THE DEPT. OF PARKS. THE CITY RESERVES THE
RIGHT TO REJECT ANY STREET TREES DEEMED UNACCEPTABLE.
(STREET TREES ARE NOT TO BE STAKED UNLESS DEEMED NECESSARY)

WATERING SCHEDULE (TREES < 2" CALIPER) (REQUIRED BY LANDSCAPE CONTRACTOR)
2-3 GALLONS PER INCH OF CALIPER DAILY FOR 1-2 WEEKS.
2-3 GALLONS PER INCH OF CALIPER EVERY OTHER DAY FOR 1-2 MONTHS.
2-3 GALLONS PER INCH OF CALIPER WEEKLY FOR 2 MONTHS.
ADDITIONAL WATERING AS NEEDED THROUGH FIRST YEAR.

WATERING SCHEDULE (TREES 2"-4" CALIPER) (REQUIRED BY LANDSCAPE CONTRACTOR)
2-3 GALLONS PER INCH OF CALIPER DAILY FOR ONE MONTH.
2-3 GALLONS PER INCH OF CALIPER EVERY OTHER DAY FOR TWO TO THREE MONTHS.
2-3 GALLONS PER INCH OF CALIPER WEEKLY FOR 2 MONTHS.
ADDITIONAL WATERING AS NEEDED THROUGH FIRST YEAR.

WATERING SCHEDULE (TREES > 4" CALIPER) (REQUIRED BY LANDSCAPE CONTRACTOR)
2-3 GALLONS PER INCH OF CALIPER DAILY FOR 6 WEEKS.
2-3 GALLONS PER INCH OF CALIPER EVERY OTHER DAY FOR FIVE MONTHS.
2-3 GALLONS PER INCH OF CALIPER UNTIL ESTABLISHED.

WATERING SCHEDULE (PALMETTOS) (REQUIRED BY LANDSCAPE CONTRACTOR)

WATERING IS BASED ON THE AVERAGE DAILY TEMPERATURE AND SOIL TYPE AT THE
LOCATION. WATER PLANT BY FLOODING SAUCER AND ALLOWING WATER TO PERSE IN AND
THEN FLOOD AGAIN OR PUT A HOSE ON SLOW DRIP AND SATURATE SOIL COMPLETELY
0-55 DEGREES-NO WATERING 55-70 WATER ONE TIME A WEEK
70-85 WATER TWO TIMES PER WEEK 85 AND UP WATER 4 TIMES PER WEEK
SITE CONDITIONS MAY WARRANT MODIFICATIONS TO THE RECOMMENDED SCHEDULE.

ACCEPTABLE WATERING METHODS

GATOR BAGS
SAUCER WITH HAND WATERING
IRRIGATION

SOIL NOTE:

LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE TOP 4" OF FIL
AROUND BUILDING AND OTHER PLANTED AREAS AND REPLACE WITH APPROVED TOPSOIL.

CLEARING OF DEBRIS

LANDSCAPE CONTRACTOR SHALL CLEAR ALL PROPOSED PLANTED AREAS OF ALL ROCKS AND DEBRIS
BEFORE PLANTING.

PLANT MATERIAL

ALL PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING.
PLACEMENT OF PLANTS IS ABSOLUTELY NECESSARY BY LANDSCAPE ARCHITECT. CONTACT
LANDSCAPE ARCHITECT TO SCHEDULE TIME.

UNDERGROUND UTILITIES

SEE CIVIL PLANS FOR PROPOSED AND EXISTING UTILITY LINES.

LIGHTING AND IRRIGATION CONDUITS

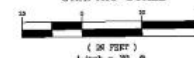
GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE CONDUITS
FOR IRRIGATION AND LIGHTING.

GUARANTEE STATEMENT

TREES WITH A CALIPER 2-3.5" WILL BE REQUIRED TO HAVE A 1 YEAR WARRANTY.
TREES WITH A CALIPER OF 4"-6" WILL BE REQUIRED TO HAVE A 2 YEAR WARRANTY.
TREES WITH A WARRANTY LARGER THAN 6" SHALL HAVE A 3 YEAR WARRANTY.
PALMETTOS WILL BE REQUIRED TO HAVE A 2 YEAR WARRANTY.



GRAPHIC SCALE



1426 MEETING ST. OFFICE BUILDING

1426 MEETING ST.
UPPER PENNSULA

CHARLESTON COUNTY, SOUTH CAROLINA

DATE
JAN. 31 2019
DRAWN/CHECKED
LAST REVISED
2/13/20
APPROVED
SCALE
1"=20'
PROJECT NO.
6212-1
SHEET NUMBER

L101

FORSBERG ENGINEERING,
INC.
AND SURVEYING, INC.
1903 SAVANNAH HIGHWAY SUITE 8
CHARLESTON, SOUTH CAROLINA 29405
(803) 571-2022 FAX (803) 571-9510
www.forsberg-engineering.com
CIVIL, MECHANICAL, ELECTRICAL,
AND LANDSCAPE ARCHITECTURE



WA	WB	WC
STRUCTURE ABOVE	STRUCTURE ABOVE	STRUCTURE ABOVE
CEILING LINE	CEILING LINE	CEILING LINE
PLAN	PLAN	PLAN
FLOOR LINE	FLOOR LINE	FLOOR LINE
WALL 3 1/2" WALL 5 1/2" WALL 8 1/2" ACTUAL DIMENSION "Y" 4 7/8" FIRE RATING 1-HR	WALL 3 1/2" WALL 5 1/2" WALL 8 1/2" ACTUAL DIMENSION "Y" 4 7/8" FIRE RATING 1-HR	WALL 3 1/2" WALL 5 1/2" WALL 8 1/2" ACTUAL DIMENSION "Y" 4 7/8" FIRE RATING 1-HR
WD	WE	WF
STRUCTURE ABOVE	STRUCTURE ABOVE	STRUCTURE ABOVE
CEILING LINE	CEILING LINE	CEILING LINE
PLAN	PLAN	PLAN
FLOOR LINE	FLOOR LINE	FLOOR LINE
WALL 3 1/2" WALL 5 1/2" WALL 8 1/2" ACTUAL DIMENSION "Y" 4 7/8" FIRE RATING 1-HR	WALL 3 1/2" WALL 5 1/2" WALL 8 1/2" ACTUAL DIMENSION "Y" 4 7/8" FIRE RATING 1-HR	WALL 3 1/2" WALL 5 1/2" WALL 8 1/2" ACTUAL DIMENSION "Y" 4 7/8" FIRE RATING 1-HR
WG		
STRUCTURE ABOVE		
CEILING LINE		
PLAN		
FLOOR LINE		
WALL 3 1/2" WALL 5 1/2" WALL 8 1/2" ACTUAL DIMENSION "Y" 4 7/8" FIRE RATING 1-HR		

WALL TYPES - WOOD PARTITIONS

WB	WC	WD
STRUCTURE ABOVE	STRUCTURE ABOVE	STRUCTURE ABOVE
CEILING LINE	CEILING LINE	CEILING LINE
PLAN	PLAN	PLAN
FLOOR LINE	FLOOR LINE	FLOOR LINE
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STRUCTURE ABOVE	STRUCTURE ABOVE	STRUCTURE ABOVE
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WC	WD	WE
STRUCTURE ABOVE	STRUCTURE ABOVE	STRUCTURE ABOVE
CEILING LINE	CEILING LINE	CEILING LINE
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WD	WE	WF
STRUCTURE ABOVE	STRUCTURE ABOVE	STRUCTURE ABOVE
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WG		
STRUCTURE ABOVE		
CEILING LINE		
PLAN		
FLOOR LINE		
WALL 3 1/2" WALL 5 1/2" WALL 8 1/2" ACTUAL DIMENSION "Y" 4 7/8" FIRE RATING 1-HR		

WA	WB	WC
STRUCTURE ABOVE	STRUCTURE ABOVE	STRUCTURE ABOVE
CEILING LINE	CEILING LINE	CEILING LINE
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STRUCTURE ABOVE	STRUCTURE ABOVE	STRUCTURE ABOVE
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FLOOR LINE	FLOOR LINE	FLOOR LINE
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WG		
STRUCTURE ABOVE		
CEILING LINE		
PLAN		
FLOOR LINE		
WALL 3 1/2" WALL 5 1/2" WALL 8 1/2" ACTUAL DIMENSION "Y" 4 7/8" FIRE RATING 1-HR		

1. PLAN DIMENSIONS ARE FACE OF STUD WALL OR FACE OF STUD WALL CONSTRUCTION UNLESS SPECIFICALLY NOTED OTHERWISE.
2. GYPSUM WALL BOARD LAYERS ON RATED WALLS SHALL BE CONTIGUOUS THROUGH ALL INTERSECTIONS WITH NON-RATED WALLS. REFER TO RATED WALL DETAIL FOR RATED WALLS.
3. REINFORCE ALL FLOOR PLANS AND LIFE SAFETY PLANS FOR RATED WALL LOCATIONS. RATED WALLS.
4. PROVIDE TYPES, SIZES AND AMOUNTS RESISTANCE GYPSUM BOARD SHALL MEET AND JANITOR ROOMS.
5. PROVIDE GYPSUM BOARD IN ALL WET SHOWER AREA WALLS WITH FLOORING.
6. PROVIDE IMPACT RESISTANT GYPSUM BOARD UP TO 4'0" IN ALL LOBBIES, CORRIDORS & STAIRWELLS.
7. AT ALL UNRATED WALLS THAT EXTEND TO THE STRUCTURE ABOVE, ALL WOOD STUDS WITH MINERAL WOOL INSULATION WHERE WALLS ARE FRAMED, INCLUDING BEAMS, SILL JOISTS, SLABS, AND ROOF DECK, MAINTAIN SCHEDULED SOUND RATING. AT ALL SOUND-RATED WALLS PROVIDE FLEXIBLE SEALANT OR AN ACOUSTICAL GASKET BETWEEN THE SCHEDULED SYSTEM AND ALL DISJUNCTION SURFACES BE PENETRATIONS AND ALSO BETWEEN THE SYSTEM AND DISJUNCTION SURFACES WHERE PENETRATIONS ARE REQUIRED. ALL GASKETS THROUGH THE SYSTEM, AND IS IN THE PERIMETER, SHALL BE SEALED AIRTIGHT. TYPING SYSTEMS SHALL BE SEALED. ALL GASKETS THROUGH THE SYSTEM SHALL BE SEALED. INTERSECTIONS PROVIDE AN ADEQUATE AIR SEAL AT THESE LOCATIONS.
8. AT ALL JOINTS AT TOP OF ALL RATED PARTITIONS PROVIDE COMPLETE LISTED FIRE RESISTIVE JOINT SYSTEM TO MATCH THE RESISTANCE OF WALL ASSEMBLY AND THAT IS ALSO COMPATIBLE WITH JOINT SUBSTRATES. SUBMIT COMPLETE JOINT SYSTEM PRODUCT INFORMATION FOR ALL CONDITIONS.
9. PROVIDE CONTINUOUS ICE & WATER SHEET BETWEEN METAL BED TRACK & CONCRETE OR DECK AT TOP (AND BOTTOM) OF WALL WHERE UNCONDITIONED SPACE EXIST ABOVE (OR BELOW).
10. PROVIDE DEFLECTION TRACK AT TOP OF WALL AT ALL CONNECTIONS TO THE STRUCTURE ABOVE.
11. ANY PORTION OF GYPSUM BOARD THAT BECOMES WET OR EXPOSED TO MOISTURE DAMAGE, EITHER BEFORE OR AFTER INSTALLATION, IS TO BE REMOVED IMMEDIATELY AND REPLACED WITH NEW DRY GYPSUM BOARD.
12. MANY INTERIOR PARTITIONS HAVE ADDITIONAL FINISHES, SUCH AS WALL, MOLD OR OTHER FINISHES. SEE FINISH SCHEDULE AND EXISTING SHEETS FOR ADDITIONAL INFORMATION.
13. ALL CONCRETE BLOCK ON RATED WALLS MUST BEAR THE UL CLASSIFICATION MARK OR SUBMIT EQUIVALENT TESTING DATA.
14. GENERAL CONTRACTOR SHALL VERIFY SPACING AND GAUGE OF REINFORCING STUDS, LIMITED HEIGHTS AND ALLOWABLE DEFLECTION FOR SPECIFIC APPLICATIONS BASED ON MANUFACTURER'S REQUIREMENTS. AT A MINIMUM, STUDS SHALL BE 20-GAUGE OR GREATER.
15. GENERAL CONTRACTOR SHALL COORDINATE ROOF DRAIN LINE LOCATIONS WITH WALLS.
16. SOUND ATTENUATION MEASUREMENT IS REQUIRED AT ALL INTERIOR PARTITIONS AND SHALL RUN FULL HEIGHT OF PARTITION UNLESS NOTED OTHERWISE. SOUND ATTENUATION BATT SHALL BE MADE OF MINERAL WOOL OR OTHER UL APPROVED MATERIALS.
17. IT IS NOT THE INTENT OF THE DOCUMENT TO IDENTIFY EACH INDIVIDUAL WALL WITH A WALL TAG. MINOR WALLS OR OTHER WALLS NOT TAGGED WILL BE OF THE SAME WALL TYPE AS ADJACENT WALLS.
18. GENERAL CONTRACTOR IS TO COORDINATE AND PROVIDE ALL REQUIRED FLOORING WITHIN THE WALLS. THE FLOORING SHALL BE LIMITED TO ALL MILLWORK, CATERING, GRASS, LCO MONITORS AND TOLLETT PARTITIONS.
19. GYPSUM BOARD ON WALLS SHALL BE APPLIED WITH A MINIMUM 1/2" GAP BETWEEN THE GYPSUM BOARD AND THE FLOOR AND SHALL NOT BE APPLIED OVER OTHER BUILDING MATERIALS WHERE CONDITIONS EXIST THAT ARE FAVORABLE TO MOLD GROWTH.

2 GENERAL PARTITION NOTES

WALL TYPE	WALL VARIANT - ALPHABETICALLY SEQUENTIAL	WALL RATING IF INDICATED	WALL FINISHING PRIORITY	PARTITION TAG LEGEND
W - MASONRY A - GYPS. STUD B - WOOD STUD C - CHAIR WALL D - SHIRT WALL	WALL VARIANT - ALPHABETICALLY SEQUENTIAL	WALL RATING IF INDICATED	WALL FINISHING PRIORITY	PARTITION TAG LEGEND
WALL FINISHING PRIORITY	WALL FINISHING PRIORITY	WALL FINISHING PRIORITY	WALL FINISHING PRIORITY	PARTITION TAG LEGEND
WALL FINISHING PRIORITY	WALL FINISHING PRIORITY	WALL FINISHING PRIORITY	WALL FINISHING PRIORITY	PARTITION TAG LEGEND
WALL FINISHING PRIORITY	WALL FINISHING PRIORITY	WALL FINISHING PRIORITY	WALL FINISHING PRIORITY	PARTITION TAG LEGEND

1 PARTITION TAG LEGEND

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1	05.11.19	DRS CONCEPTUAL SUBMITTAL
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PARTITION TYPES

05.02.2020
Date

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Scale

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Scale

As indicated
Scale

As indicated
Scale

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Scale

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Scale

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Scale

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9. PROVIDE CONTINUOUS E.C. SLAB AT TOP OF WALL BY INSTALLING DFL TRACK & CONCRETE OR WATER STOP (AND BOTTOM) OF WALL AND PROVIDE SCHEDULED REINFORCING BARS FOR JOINTS.
10. PROVIDE DEFLECTION TRACK AT TOP OF WALL AT ALL CONNECTIONS TO THE STRUCTURE ABOVE.
11. ANY PORTION OF GYPSUM BOARD THAT BECOMES WET OR SHOWS SIGNS OF WATER DAMAGE SHOULD BE REMOVED OR AFTER REPAIR WORK IS COMPLETED IMMEDIATELY AND REPLACED WITH NEW DRY GYPSUM BOARD.
12. MAJOR INTERIOR PARTITIONS HAVE ADDITIONAL TRIMMING, SUCH AS WALL BASES OR WOOD PANELING, REFER DESIGN SCHEDULE AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.
13. ALL CONCRETE BLOCK ON FIRE RATED WALLS MUST BEAT THE SAME MINIMUM FLAME SPREAD, SMOKE DEVELOPMENT TESTING DATA.
14. GENERAL CONTRACTOR SHALL VERIFY SPACING AND GAUGE OF INTERIOR PIRLS, LUMPING HEIGHTS AND ALLOWABLE DEFLECTION FOR SPECIFIC APPLICATIONS BASED ON MANUFACTURERS' REQUIREMENTS. AT A MINIMUM STUDS SHALL BE 21 GAUGE OR GREATER.
15. GENERAL CONTRACTOR SHALL COORDINATE ROOF DRAIN LINE LOCATIONS WITH OTHER WALLS.
16. SOUND ATTENUATION BANNER IS REQUIRED AT ALL INTERIOR CORNERS, FLOOR LINE, AND CEILING LINE UNLESS OTHERWISE NOTED. SOUND ATTENUATION BATT SHALL BE MADE OF MINERAL WOOL OR OTHER APPROVED MATERIAL.
17. IT IS NOT THE INTENT OF THE DOCUMENT TO IDENTIFY PART REVIEW BASIS OR TO SET AN ALTERNATIVE OTHER WALL PROGRAMME BUT TO SET THE SAME LEVEL OF PERFORMANCE.
18. GENERAL CONTRACTOR IS TO COORDINATE AND PROVIDE ALL REQUIRED BLOCKING WITHIN THE WALLS THIS INCLUDES BUT IS NOT LIMITED TO: ULL-CGLR, CASI-GBL, GRAB LABS, CGO MEMBERS AND INTERIOR PARTITIONS.
19. GYPSUM BOARD OF WALLS SHALL BE APPLIED WITH A MINIMUM 1/2" GAP BETWEEN THE GYPSUM BOARD AND THE FLOOR AND SHALL NOT BE USED OVER OTHER BUILDING MATERIALS UNLESS UNDER CONDITIONS SPECIFICALLY PERMITTED TO DO SO.

[illegible]

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FIRST FLOOR PLAN

03.02.2020
Date

AS NOTED
Scale

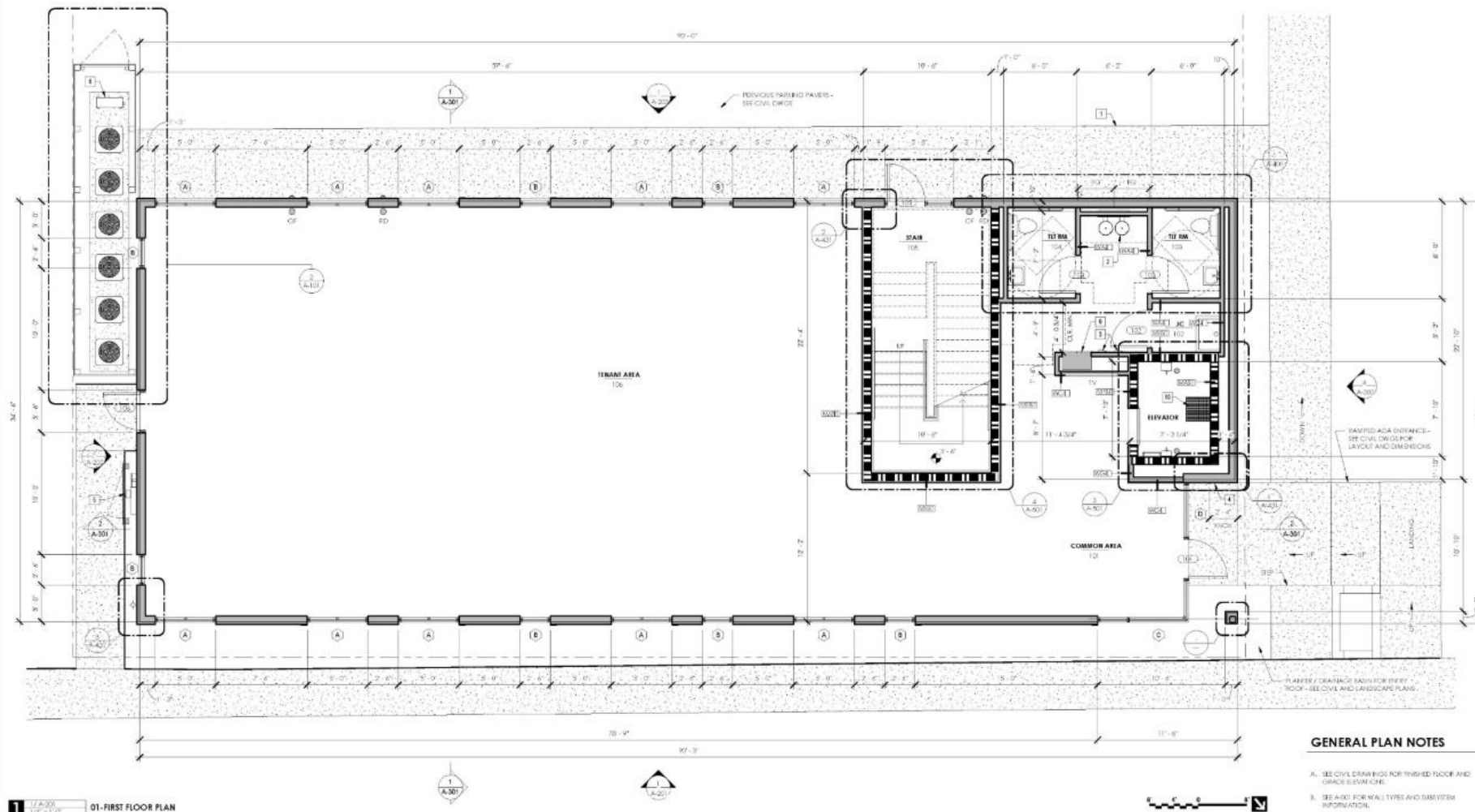
As Noted
Drawn

19-15
As Noted

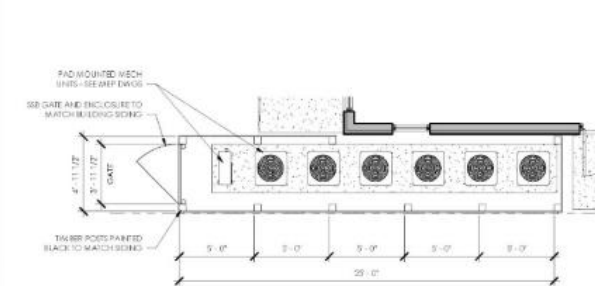
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01-FIRST FLOOR PLAN



2 MECHANICAL ENCLOSURE

GENERAL PLAN NOTES

- SEE CIVIL DRAWING FOR FINISHED FLOOR AND GRADE ELEVATIONS.
- SEE A-101 FOR WALL TYPES AND SUBSYSTEM INFORMATION.
- SEE STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING FOR ADDITIONAL SCOPE OF WORK. COORDINATE THE WORK OF ALL TRADES.
- FURNITURE AND EQUIPMENT NOTED AS EACH TO BE PROVIDED BY OTHERS. CONTRACTOR TO PROVIDE CONNECTIONS AND BLOCKING FOR INSTALLATION BY OWNER.
- FURNITURE TO BE PROVIDED BY OWNER IS NOT SHOWN FOR CLARITY.
- EXTERIOR DIMENSIONS SHOWN ARE TO FACE OF BRICK FROM COLUMN LINE OR OPERABLE. SEE DETAILS AND ELEVATIONS FOR ADDITIONAL MASONRY DIMENSION INFORMATION.
- INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD OR TO CENTERLINE OF OPENING UNLESS NOTED OTHERWISE.
- INTERIOR PARTITIONS, CHASE WALLS, AND FURNISHING SHALL BE SET A MINIMUM OF 4" ABOVE THE HIGHEST ADJACENT CEILING. EXTEND ONE INCH TO THE SAME HEIGHT. BRACE PARTITIONS TO STRUCTURAL DECK/FRAMING ABOVE PER STRUCTURAL REQUIREMENTS.
- ONLY FURNISHING AT STRUCTURAL STEEL COLUMN BOUNDARIES SHALL BE SET TO THE COLUMN TO MINIMIZE OBSTRUCTION OF CLEAR FLOORSPACE UNLESS NOTED OTHERWISE.
- LOCATE 3" OF INCH DOORS IN INTERIOR PARTITIONS SUCH THAT THE CENTERLINE OF THE DOOR AND 3" FROM THE FACE OF FINISH OF THE ADJACENT INTERIOR PARTITION UNLESS NOTED OTHERWISE.

KEY NOTES - FLOOR PLAN

- CONCRETE SIDEWALK - SEE CIVIL SITE PLAN FOR DETAILS.
- ENCL.
- ELECTRICAL AND DATA PANELS - FULLY RECESSED - SEE ELECTRICAL DRAWING.
- KNICK BOX - SEE LIFE SAFETY PLAN.
- ELECTRIC CHIMNEY - SEE ELECTRICAL DRAWING.
- CONCRETE PAD AND PAD MOUNTED MECHANICAL UNITS - SEE CIVIL AND MECHANICAL DRAWING.
- AREA OF SERVICE.
- TWO-WAY COMMUNICATION SYSTEM.
- RECESSED FOUR INCH TENANT COMMERCIAL KITCHEN WITH FRENCH BOX AND OUTGOING MAIL.
- ELEVATOR SHIP PIT - SEE TO COORDINATE WITH ELEVATOR MANUFACTURER FOR EXACT SIZE AND LOCATION.
- PAVED METAL LOCABLE GATE AT ROOF ACCESS LADDER - MATCH STAIR RAILING.
- PROVIDE POWER AND DATA FOR WALL MOUNTED TV DISPLAY (TOP ROOM FLOOR).
- CANOPY ROOF BELOW - SEE ELEVATIONS AND DETAILS.

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SECOND FLOOR PLAN

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Date

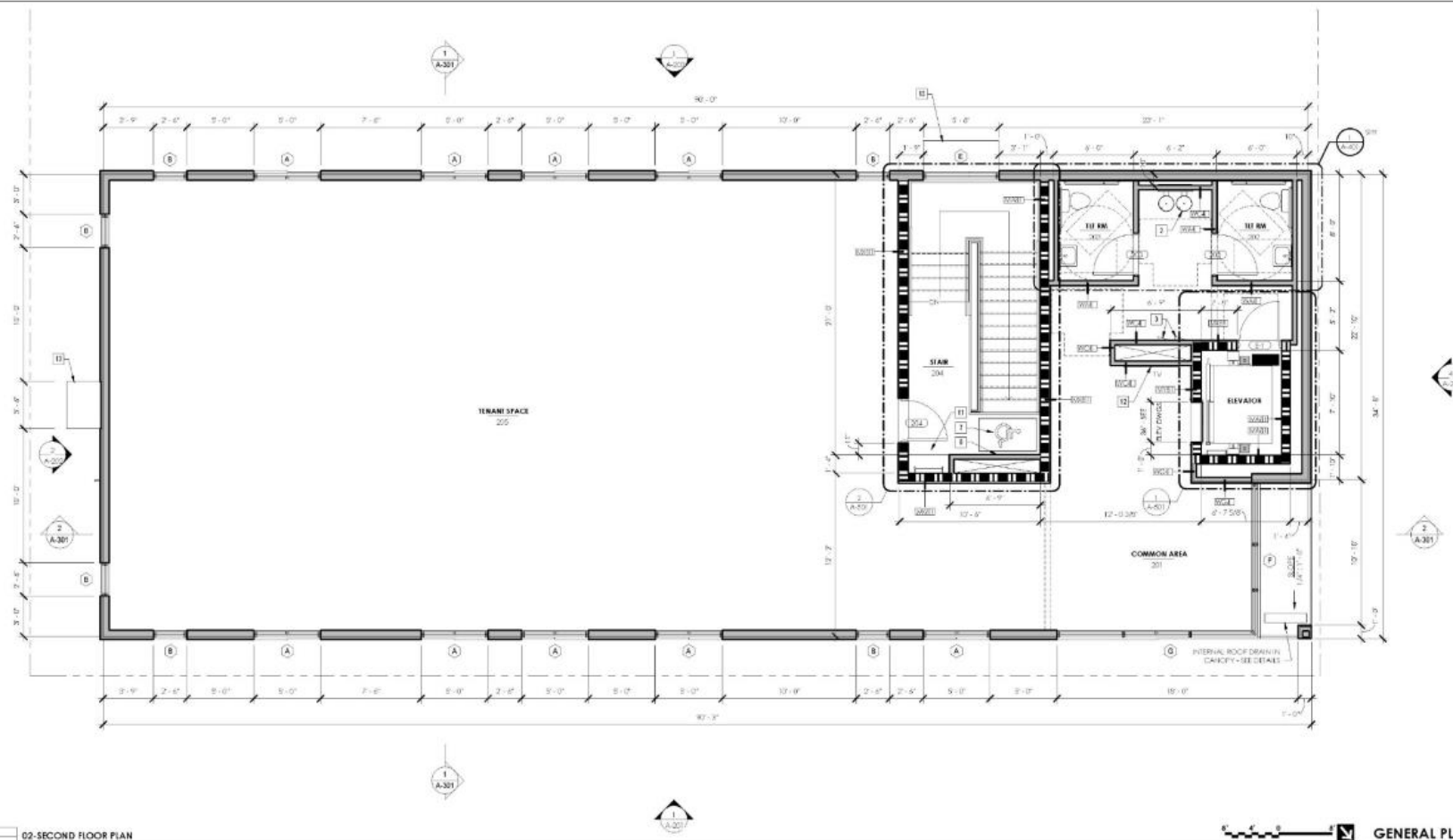
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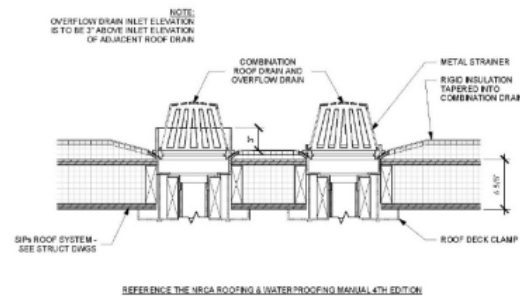
1 1/A-102
1/8" = 1'-0"
02-SECOND FLOOR PLAN

KEY NOTES - FLOOR PLAN

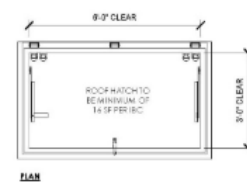
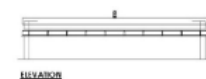
1. CONCRETE DEBRIS - SEE CIVIL SITE PLAN FOR EXIST.
2. DWG.
3. ELECTRICAL AND DATA PANELS - FULLY NOTED - SEE ELECTRICAL DWG.
4. KITCHEN BOX - SEE LIFT PARTY PLANS.
5. ELECTRIC METERS - SEE ELECTRICAL DWGS.
6. CONCRETE PAD AND PAD MOUNTED MECHANICAL UNITS - SEE CIVIL AND MECHANICAL DWGS.
7. AREA OF REFUSE.
8. TWO-WAY COMMUNICATION SYSTEM.
9. RECESSED FLOOR AT THRU-WALL COMMERCIAL MAILBOX WITH PARCEL BOX AND OUTGOING MAIL.
10. ELEVATOR SHIP PIP - GC TO COORDINATE WITH ELEVATOR MANUFACTURER FOR SHIP SIZE AND LOCATION.
11. PAINTED METAL LOUVERED GATE AT ROOF ACCESS LADDER - MATCH EXISTING PAINT.
12. PROVIDE POWER AND DATA FOR WALL MOUNTED TV DISPLAY (TYP. BOTH FLOORS).
13. CANOPY ROOF BELOW - SEE ELEVATIONS AND DETAILS.

GENERAL PLAN NOTES

- A. SEE CIVIL DRAWINGS FOR FINISHED FLOOR AND GRADE ELEVATIONS.
- B. SEE ADD FOR ALL TYPES AND SUBSYSTEM INFORMATION.
- C. SEE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING FOR ADDITIONAL SCOPE OF WORK. COORDINATE THE WORK OF ALL TRADES.
- D. FURNITURE AND EQUIPMENT NOTED AS IFC IS TO BE PROVIDED BY OWNER. COORDINATOR TO PROVIDE CONNECTIONS AND BLOCKING FOR INSTALLATION BY OWNER.
- E. FURNITURE TO BE PROVIDED BY OWNER IS NOT SHOWN FOR CLARITY.
- F. EXTERIOR DIMENSIONS SHOWN ARE TO FACE OF BRICK FROM COLUMN LINE OR OPENING. SEE DETAILS AND ELEVATIONS FOR ADDITIONAL MASONRY DIMENSION INFORMATION.
- G. INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD OR TO CENTERLINE OF OPENING UNLESS NOTED OTHERWISE.
- H. INTERIOR PARTITIONS, CHASE WALLS AND FLOORING SHALL BE TO A MINIMUM OF 2" ABOVE THE HIGHEST ADJACENT CEILING. EXISTING GYM FLOOR TO THE SAME HEIGHT. BRACE PARTITIONS TO STRUCTURAL DECK FLOORING ABOVE FOR STRUCTURAL REQUIREMENTS.
- I. GYM FLOORING AT STRUCTURAL STEEL COLUMN SURROUNDS SHALL BE HELD TIGHT TO THE COLUMN TO MINIMIZE OBSTRUCTION OF CLEAR FLOOR SPACE UNLESS NOTED OTHERWISE.
- J. LOCATE 3'-0" WIDE DOORS IN INTERIOR PARTITIONS SUCH THAT THE CENTERLINE OF THE DOOR IS 2'-0" FROM THE FACE OF FINISH OF THE ADJACENT INTERSECTING PARTITION UNLESS NOTED OTHERWISE.



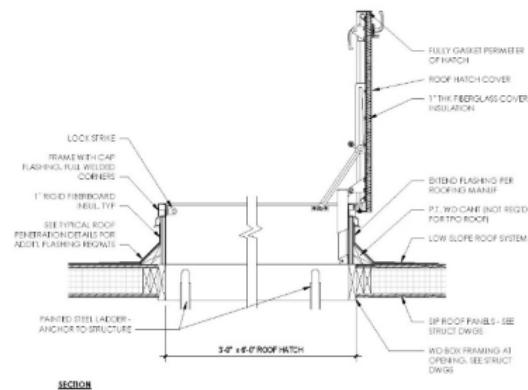
2 TYPICAL VENT PIPE PENETRATION DETAIL



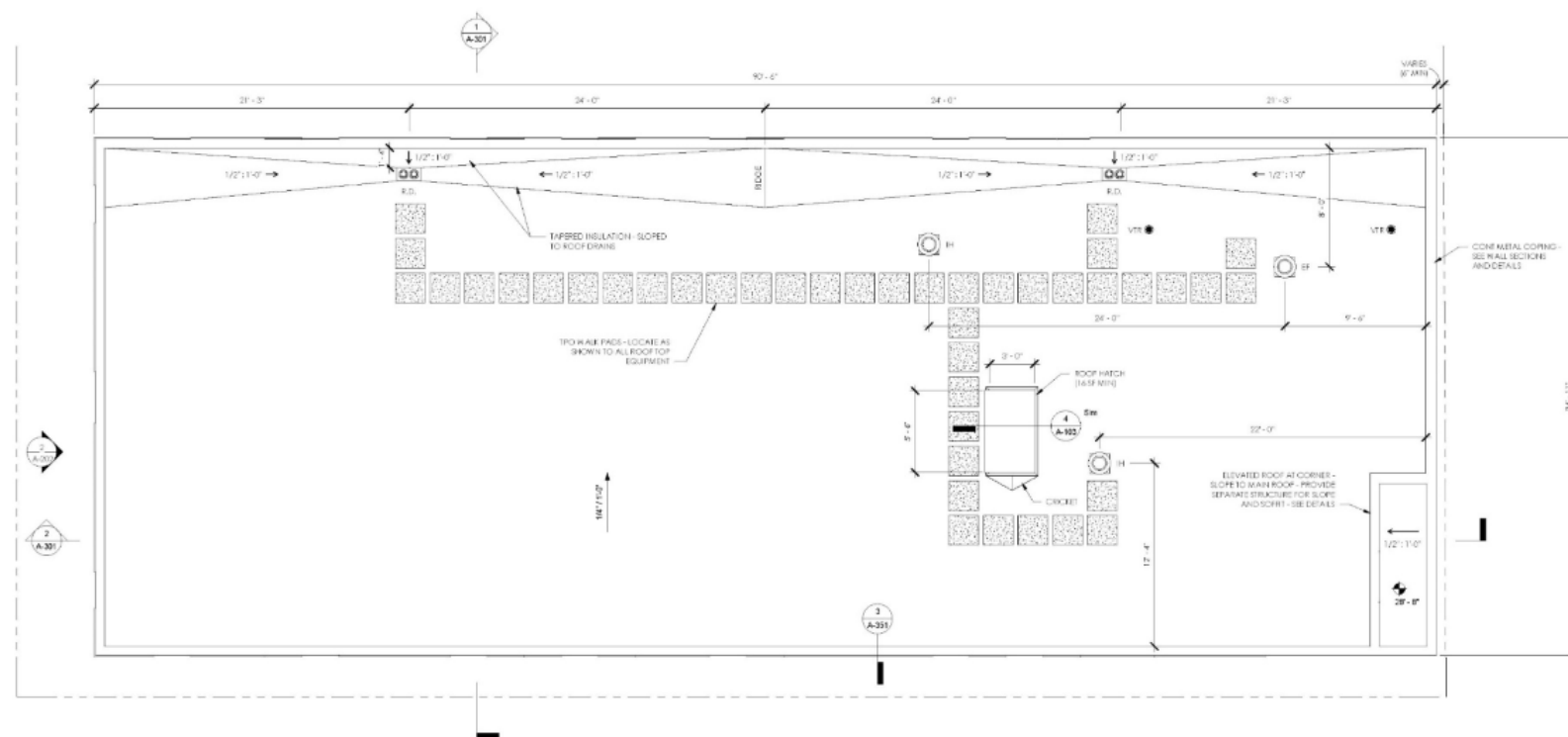
4

1/2" x 10"
1" x 1-1/2"

 ROOF HATCH DETAILS



SECTION



5/8" ACHNA
2.995 SF ROOF AREA
9.4 IN / HR (100 YR EVI@)
130 SQ FT / SQ IN

23 SQ IN OF REQ'D DOWNSPOUT AREA
2 DOWNSPOUTS @ 11.5 SQ IN AREA, MIN

5" DIAMETER ROOF DRAINS (x2)
(35 SQ IN PROVIDED - 23 SQ IN REQ'D)

5" DIAMETER OVERFLOW DRAINS (x2)

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ROOF PLAN

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Drawn	

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1 STREETScape - EXISTING VIEW TO THE EAST



2 STREETScape - PROPOSED VIEW TO THE EAST

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STREETSCAPES - PROPOSED AND EXISTING

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Designer

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WEST ELEVATION

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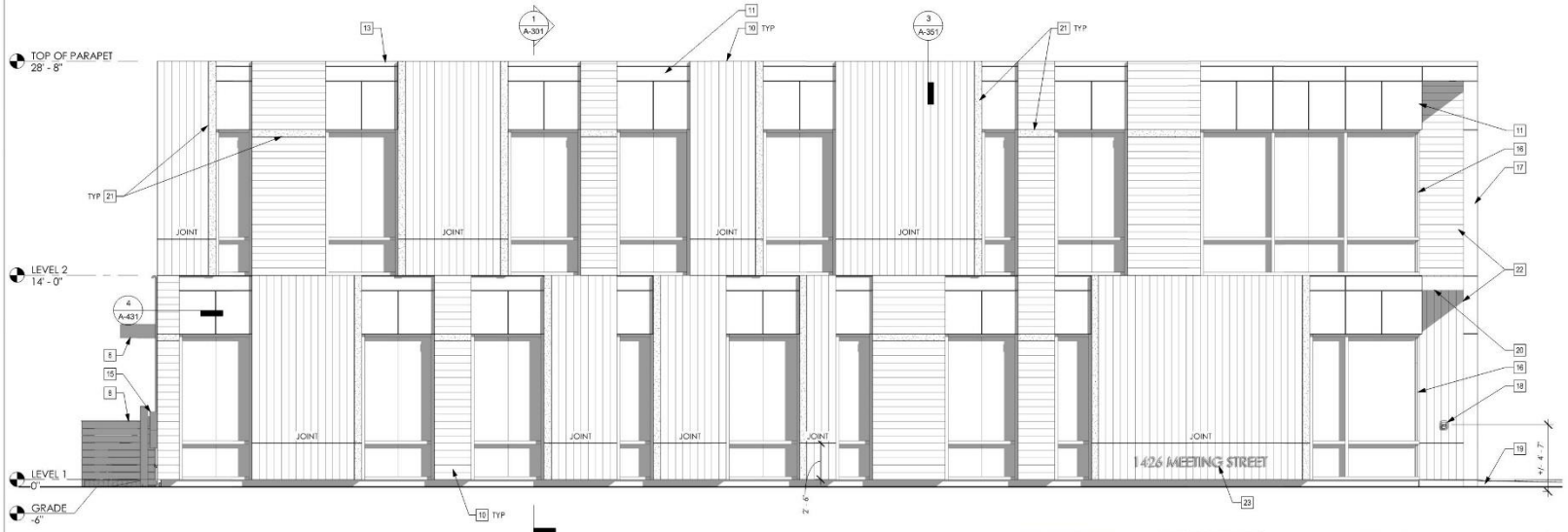
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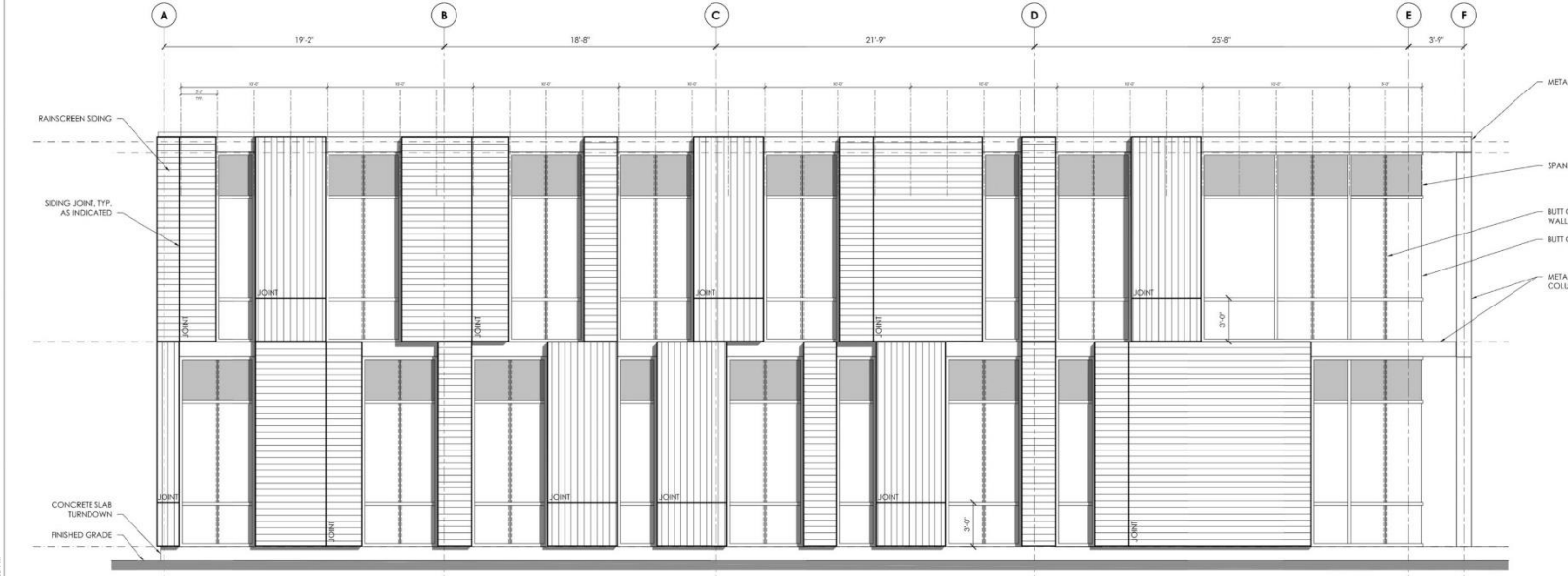


1 WEST ELEVATION (PRELIMINARY SUBMITTAL 02.19.2020)

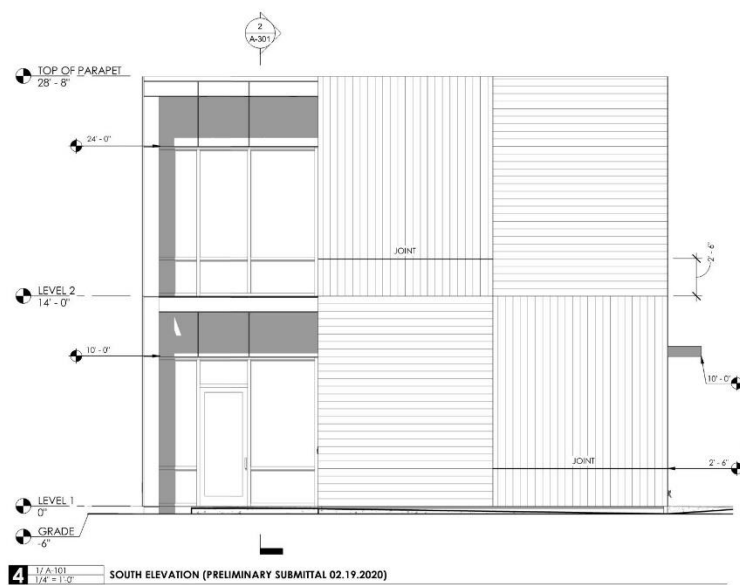


EXTERIOR MATERIAL LEGEND

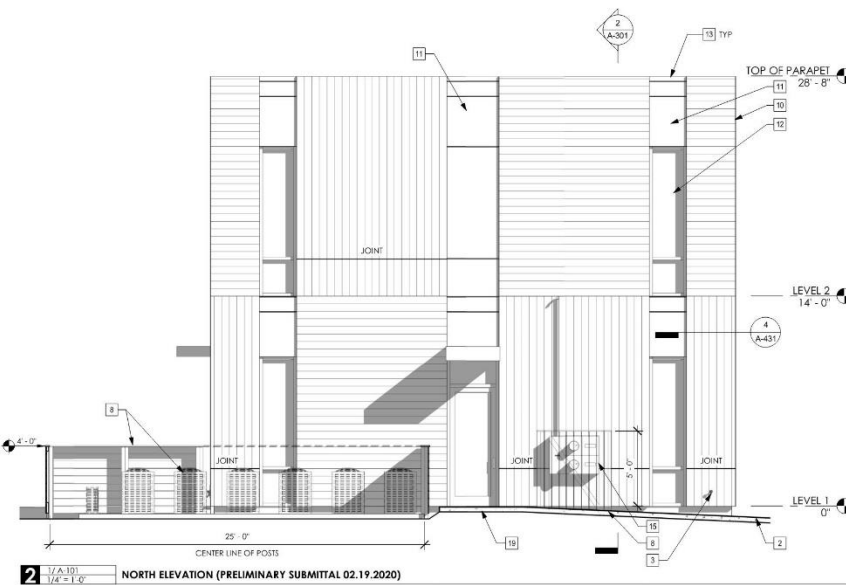
FLOOD PLAIN ELEVATION (SEE CIVIL FOR ADDITIONAL INFO)
F.F.E. = 14'-7"
FLOOD ELEVATION IS AE 1'
NO FLOODPROOFING IS REQUIRED



2 WEST ELEVATION (CONCEPTUAL APPROVAL)



4 SOUTH ELEVATION (PRELIMINARY SUBMITTAL 02.19.2020)



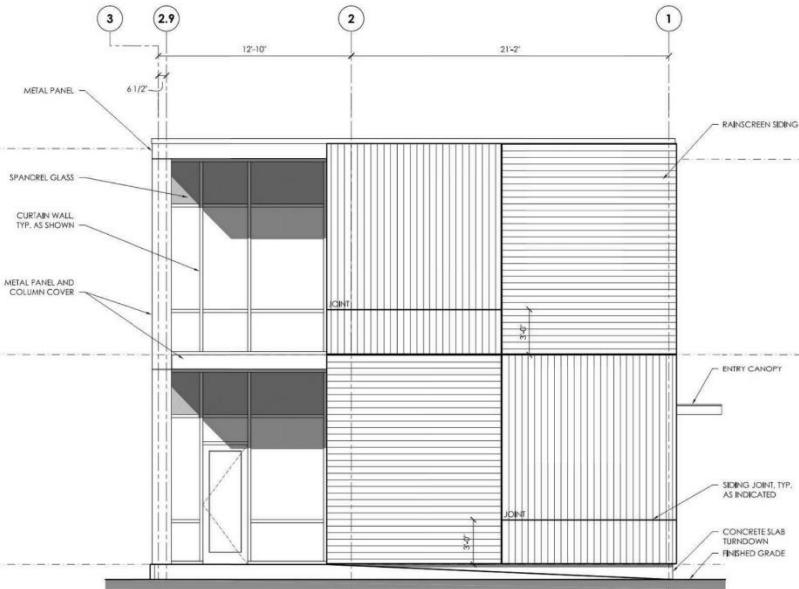
2 NORTH ELEVATION (PRELIMINARY SUBMITTAL 02.19.2020)



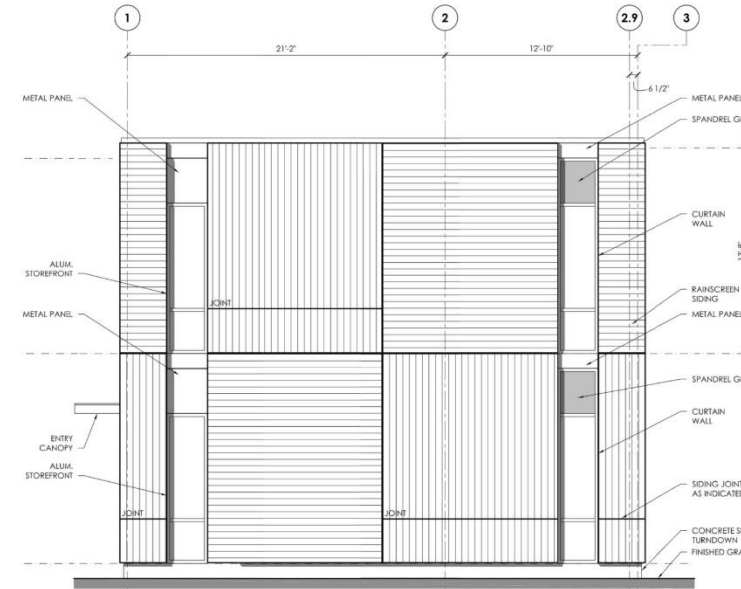
EXTERIOR MATERIAL LEGEND

- 1 BOARD JOINT - PROVIDE SPACING AS INDICATED IN ENLARGED DETAILS
- 2 CONCRETE SIDEWALK - SEE CIVIL DRAWINGS FOR DETAILS AND ELEVATION
- 3 COMMERCIAL HOSE BIB - SEE PLUMBING DRAWINGS
- 4 WALL MOUNTED CAP FOR INTERNAL ROOF LEADER - SEE ROOF PLAN
- 5 WALL MOUNTED CAP FOR OVERFLOW ROOF DRAIN - SEE ROOF PLAN
- 6 ALUM CANOPY - SEE DETAILS - SEE ELECTRICAL DWGS FOR EMERGENCY EGRESS LIGHTING
- 7 VERTICAL BOARD JOINT - PROVIDE AS INDICATED IN ENLARGED DETAILS
- 8 SSB MECHANICAL ENCLOSURE AND PAD MOUNTED UNITS - SEE MECHANICAL DWGS
- 9 ALUMINUM STOREFRONT GLAZING WITH STRUCTURAL BUTT GLAZED VERTICAL JOINT
- 10 SSB BLUR & BRUSH WOOD RAINSCREEN SIDING WALL SYSTEM - SEE WALL SECTIONS AND DETAILS
- 11 METAL WALL PANEL SYSTEM WITH INTEGRAL PANEL JOINTS - PROVIDE JOINTS AND SPACING AS INDICATED IN THE DWGS
- 12 ALUM WINDOW SYSTEM
- 13 INTEGRAL METAL CORING IN WALL PANEL SYSTEM - SEE ENLARGED WALL SECTION DETAILS
- 14 METAL PANEL REVEAL JOINT
- 15 ELECTRICAL METER SERVICE ENTRANCE AND WEATHER HEAD - PAINT TO MATCH WOOD SIDING (BLACK) - SEE ELECTRICAL DWGS FOR ADDITIONAL INFORMATION
- 16 BUTT GLAZED CORNER AT ENTRY SYSTEM - SEE FRAME ELEVATIONS AND DETAILS
- 17 METAL WRAPPED COLUMN - SEE STRUCTURAL DWGS AND DETAILS
- 18 FULLY RECESSED KNX BOX - GC TO PROVIDE AS REQUIRED BY THE CHARLESTON CITY FIRE DEPARTMENT - ALIGN CENTER OF BOX WITH CENTER OF BOARD, OR CENTER OF JOINT - GC TO VERIFY WITH ARCHITECT PRIOR TO INSTALLING IN FIELD
- 19 SLOPED SIDEWALK AT ENTRANCE - SEE CIVIL DWGS
- 20 ENTRY ROOF WITH ALUM FACIA AND INTERNAL DRAIN - SEE RCP AND CANOPY/ROOF DETAILS
- 21 HORIZONTAL AND VERTICAL ACCENT BOARDS IN SIDING - SSB CANOPY FINISH
- 22 CLEAR STAINED SIDING - PROVIDE CLEAR STAINED T&G AT ADJACENT SOFFITS TO MATCH - SEE DETAILS
- 23 CLEAR ANODIZED ALUMINUM POST MOUNTED LETTERS

FLOOD PLAIN ELEVATION (SEE CIVIL FOR ADD'L INFO)
F.F.E. = 14.75'
FLOOD ELEVATION IS AE 13'
NO FLOODPROOFING IS REQUIRED



3 SOUTH ELEVATION (CONCEPTUAL APPROVAL)



1 NORTH ELEVATION (CONCEPTUAL APPROVAL)

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NORTH & SOUTH ELEVATIONS

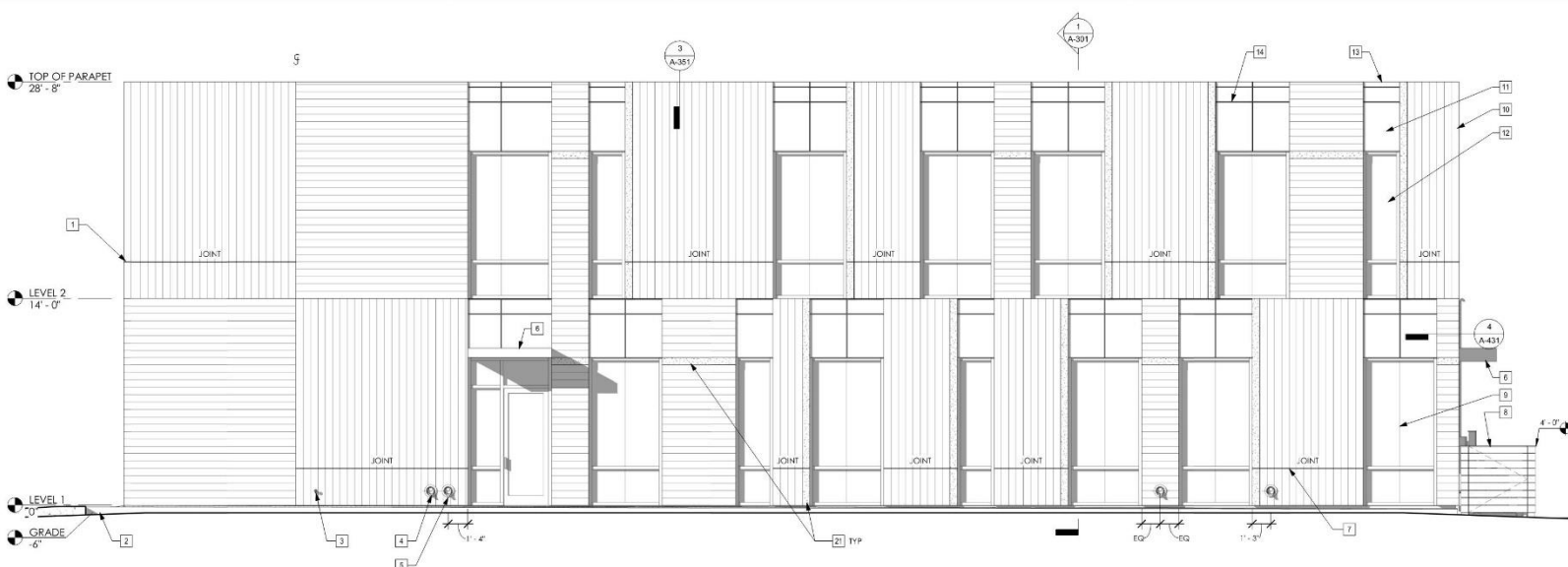
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19-15
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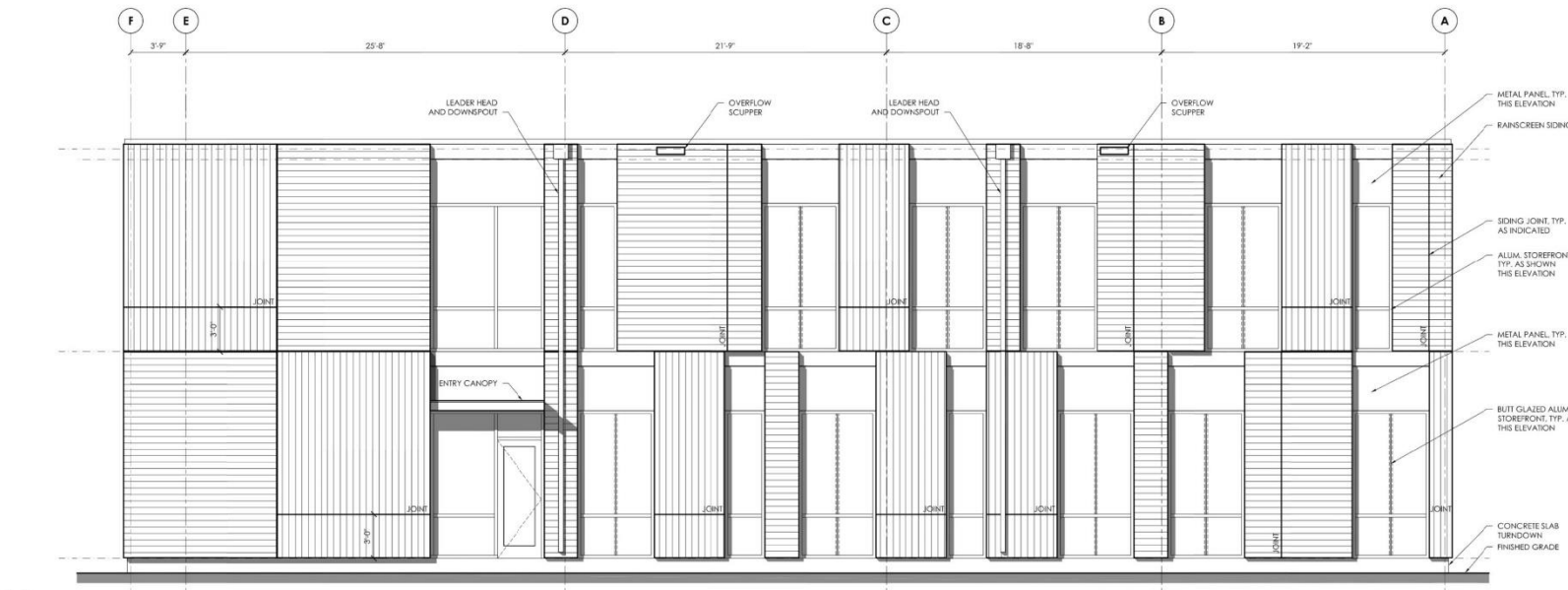
- 1 BOARD JOINT - PROVIDE SPACING AS INDICATED IN ENLARGED DETAILS
- 2 CONCRETE SIDEWALK - SEE CIVIL DRAWINGS FOR DETAILS AND ELEVATION
- 3 COMMERCIAL HOSE BIB - SEE PLUMBING DRAWINGS
- 4 WALL MOUNTED CAP FOR INTERNAL ROOF LEADER - SEE ROOF PLAN
- 5 WALL MOUNTED CAP FOR OVERFLOW ROOF DRAIN - SEE ROOF PLAN
- 6 ALUM CANOPY - SEE DETAILS - SEE ELECTRICAL DWGS FOR EMERGENCY EGRESS LIGHTING
- 7 VERTICAL BOARD JOINT - PROVIDE AS INDICATED IN ENLARGED DETAILS
- 8 SSB MECHANICAL ENCLOSURE AND PAD MOUNTED UNITS - SEE MECHANICAL DWGS
- 9 ALUMINUM STOREFRONT GLAZING WITH STRUCTURAL BUTT GLAZED VERTICAL JOINT
- 10 SSB BURN & BRUSH WOOD RAINSCREEN SIDING WALL SYSTEM - SEE WALL SECTIONS AND DETAILS
- 11 METAL WALL PANEL SYSTEM WITH INTEGRAL PANEL JOINTS - PROVIDE JOINTS AND SPACING AS INDICATED IN THE DWGS
- 12 ALUM WINDOW SYSTEM
- 13 INTEGRAL METAL COILING IN WALL PANEL SYSTEM - SEE ENLARGED WALL SECTION DETAILS
- 14 METAL PANEL REVEAL JOINT
- 15 ELECTRICAL METER SERVICE ENTRANCE AND WEATHER HEAD - PAINT TO MATCH WOOD SIDING (BLACK) - SEE ELECTRICAL DWGS FOR ADDITIONAL INFORMATION
- 16 BUTT GLAZED CORNER AT ENTRY SYSTEM - SEE FRAME ELEVATIONS AND DETAILS
- 17 METAL WRAPPED COLUMN - SEE STRUCTURAL DWGS AND DETAILS
- 18 FULLY RECESSED KNOX BOX - GC TO PROVIDE AS REQUIRED BY THE CHARLESTON CITY FIRE DEPARTMENT - ALIGN CENTER OF BOX WITH CENTER OF BOARD, OR CENTER OF JOINT - GC TO VERIFY WITH ARCHITECT PRIOR TO INSTALLING IN FIELD
- 19 SLOPED SIDEWALK AT ENTRANCE - SEE CIVIL DWGS
- 20 ENTRY ROOF WITH ALUM FASCIA AND INTERNAL DRAIN - SEE RCP AND CANOPY/ROOF DETAILS
- 21 HORIZONTAL AND VERTICAL ACCENT BOARDS IN SIDING - SSB GRABER FINISH
- 22 CLEAR STAINED SIDING - PROVIDE CLEAR STAINED T&G AT ADJACENT JOINTS TO MATCH - SEE DETAILS
- 23 CLEAR ANODIZED ALUMINUM POST MOUNTED LETTERS



1 1/4" = 1'-0" EAST ELEVATION (PRELIMINARY SUBMITTAL 02.19.2020)

EXTERIOR MATERIAL LEGEND

FLOOD PLAIN ELEVATION (SEE CIVIL FOR ADDITIONAL INFO)
F.F.E. = 14'-7"
FLOOD ELEVATION IS AE 1'
NO FLOODPROOFING IS REQUIRED



2 EAST ELEVATION (CONCEPTUAL APPROVAL)



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EAST ELEVATION

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A-203

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1426 MEETING STREET OFFICE
BUILDING

1426 MEETING STREET,
CHARLESTON, SC 29403

Document Record

No.	Date	Description
1	05.11.19	DRG CONCEPTUAL SUBMITTAL
2	03.02.2020	DRG PRELIMINARY SUBMITTAL

BUILDING SECTIONS

03.02.2020
Date

1/4" = 1'-0"
Scale

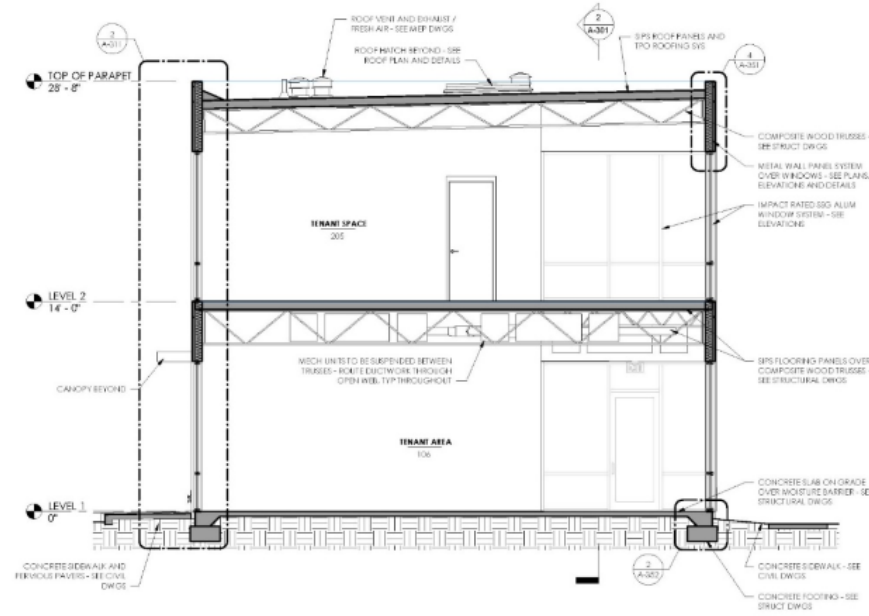
Author
Drawn

19-15
Job No.

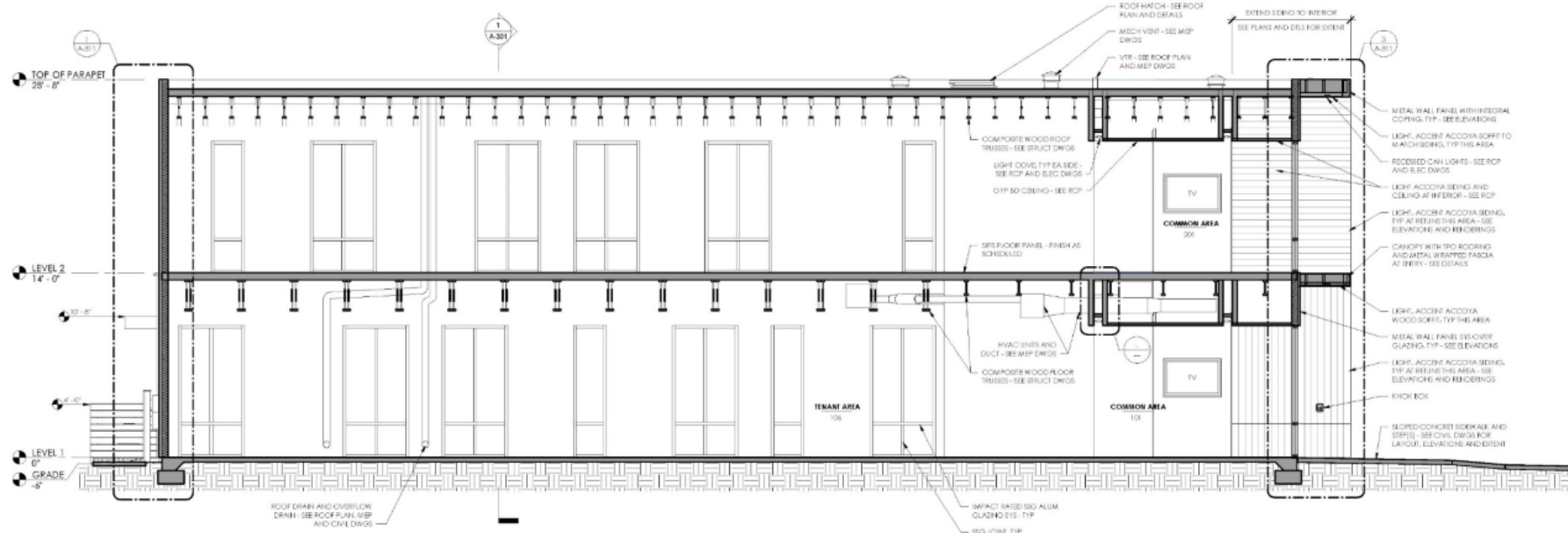
A-301

NOT RELEASED FOR CONSTRUCTION

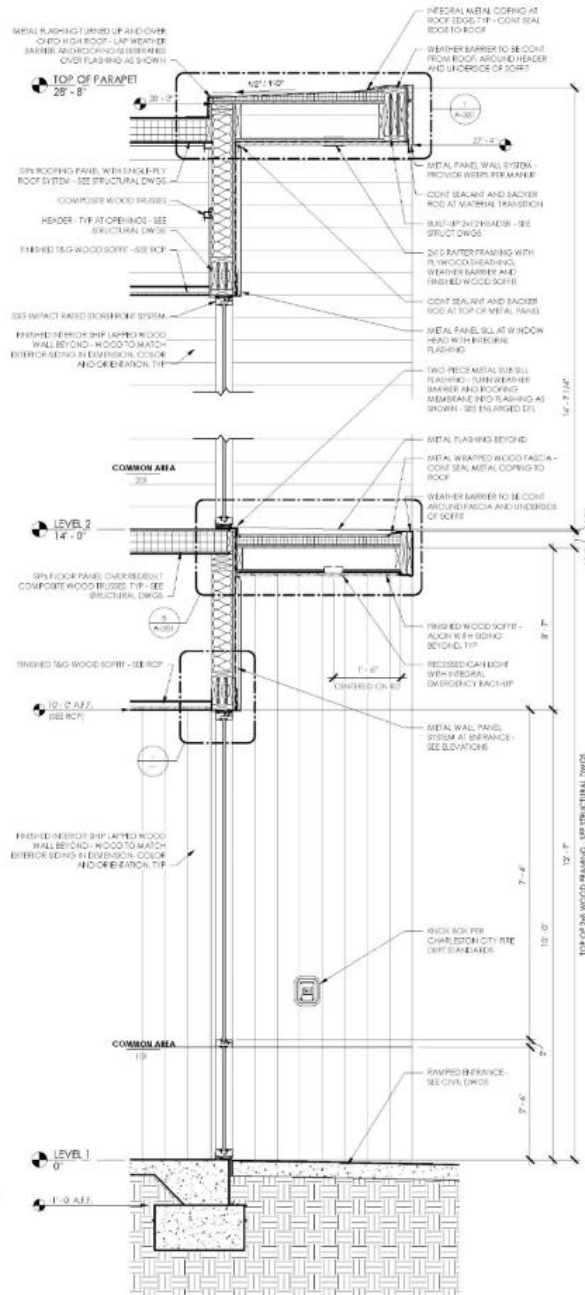
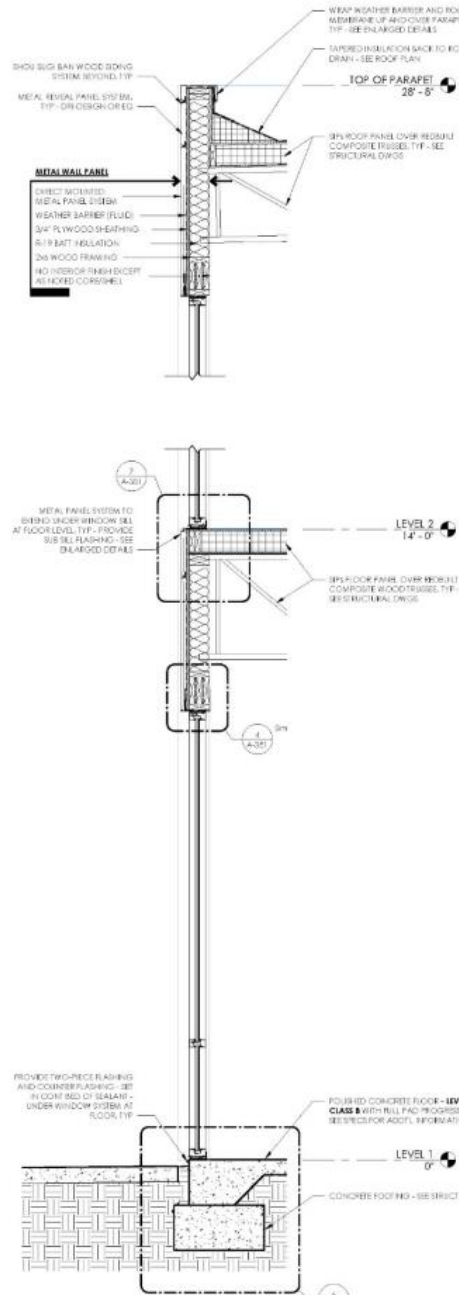
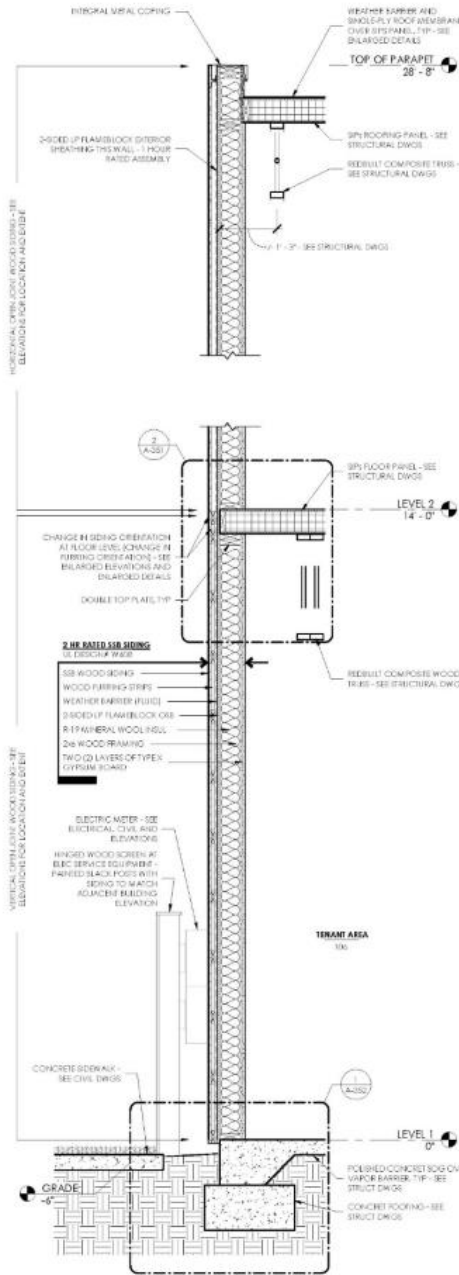
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1 1/4" = 1'-0" TRANSVERSE BUILDING SECTION



2 1/4" = 1'-0" LONGITUDINAL BUILDING SECTION



GENERAL NOTES

SHEET NOTES

KEY PLAN

BELLO GARRIS
ARCHITECTS

76-B SPRING STREET
CHARLESTON, SC 29403
843.540.3565
BELLOGARRIS.COM

1426 MEETING STREET OFFICE BUILDING

1426 MEETING STREET,
CHARLESTON, SC 29403

Document Record

No.	Date	Description
1	05.11.19	DRS CONCEPTUAL SUBMITTAL
2	03.02.2021	DRS PRELIMINARY SUBMITTAL

WALL SECTIONS

05.02.2020
Date

3/4" = 1'-0"
Scale

AWB
Drawn

10-15
JAB/MS

A-311

NOT RELEASED FOR CONSTRUCTION

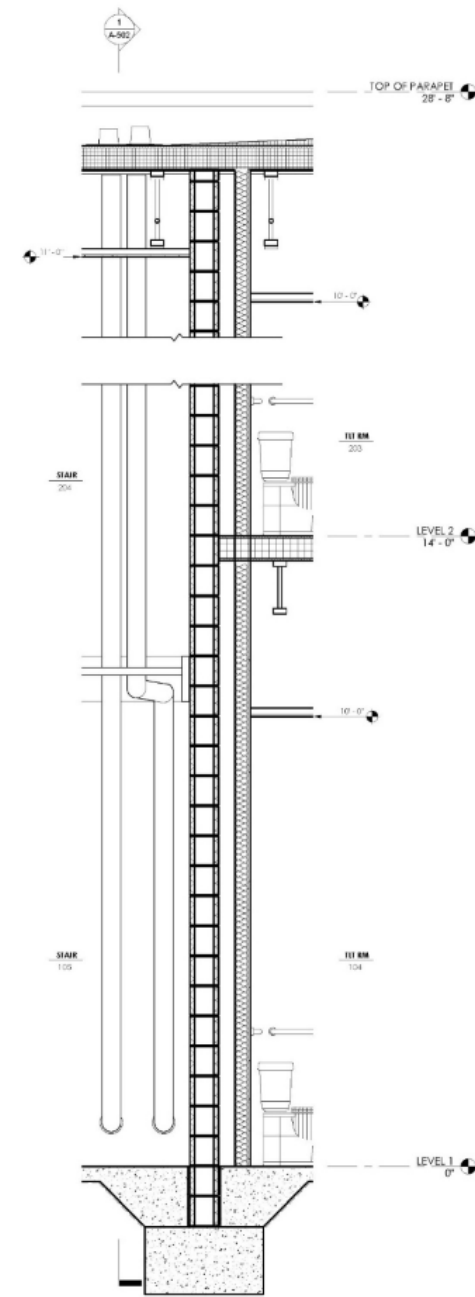
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1	09.11.19	DRB CONCEPTUAL SUBMITTAL
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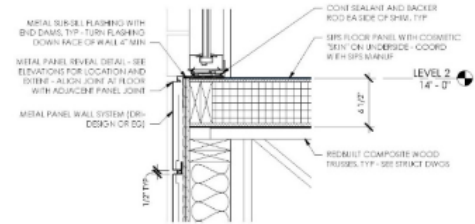
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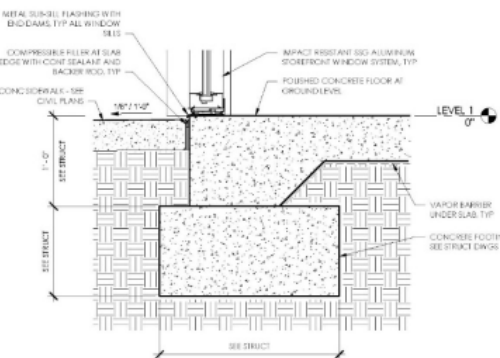


1 2' A-903
3/4" x 1' 6" WALL SECTION - 1 HOUR RATED STAIR ENCLOSURE

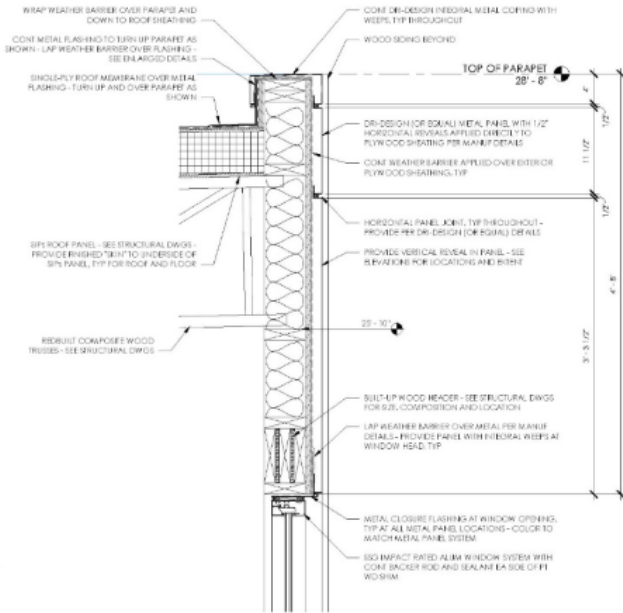
KEY PLAN



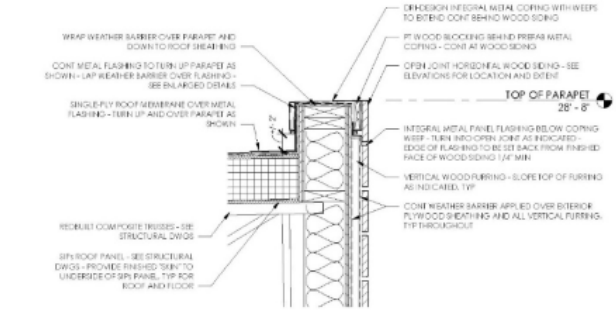
7 **1/2\"/>**



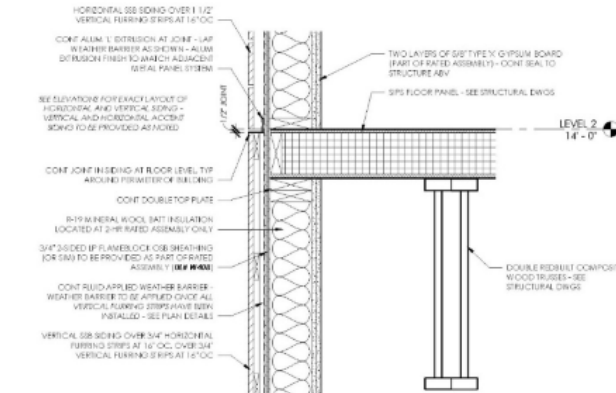
6 **1/2\"/>**



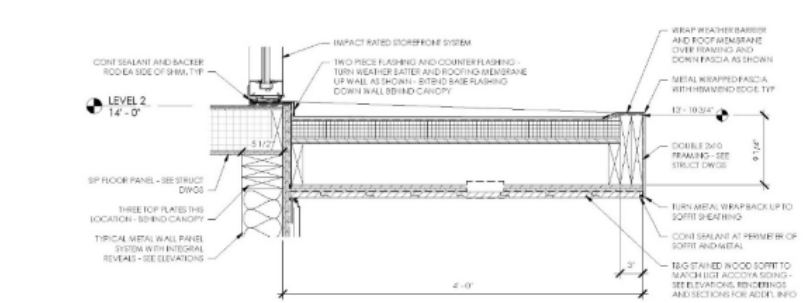
4 **1/2\"/>**



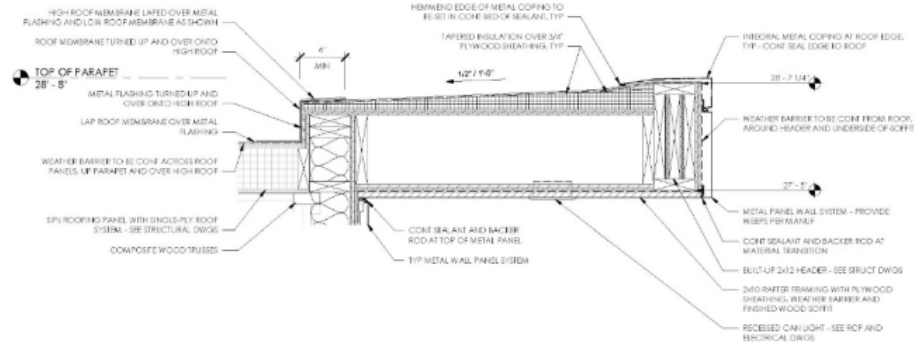
3 **1/2\"/>**



2 **1/2\"/>**



5 **1/2\"/>**



1 **3/4\"/>**

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Document Record

No.	Date	Description
1	05.11.19	DRG CONCEPTUAL SUBMITTAL
2	03.02.2021	DRG PRELIMINARY SUBMITTAL

ENLARGED SECTION DETAILS

03.02.2020

Date

1 1/2\"/>

Scale

Author

Drawn

19-15

Job No.

A-351

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3/15/2020 11:17:35 AM

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BUILDING

1426 MEETING STREET,
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Document Record

No.	Date	Description
1	09.11.19	DRG CONCEPTUAL SUBMITTAL
2	03.02.2020	DRG PRELIMINARY SUBMITTAL



SECTION DETAILS

03.02.2020
Date

1/8" = 1'-0"
Scale

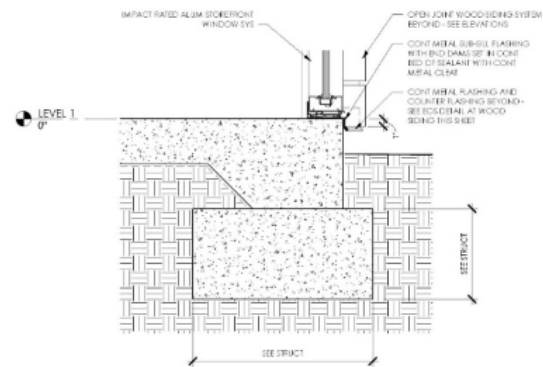
Author
Drawn

19-15
Job No.

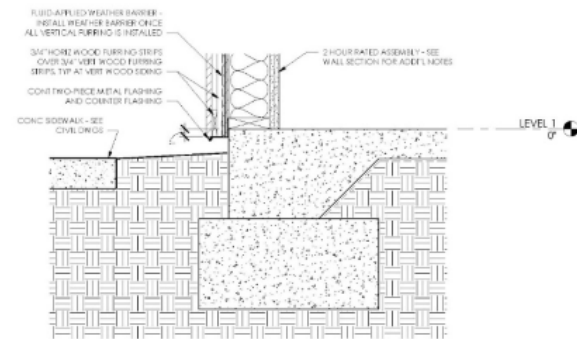
A-352

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2 E05 DETAIL AT WINDOW - WEST ELEVATION



1 E05 DETAIL - NORTH ELEVATION

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No.	Date	Description
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2	03.02.2020	DRB PRELIMINARY SUBMITTAL

No.	Date	Description
1	09.11.19	DRB CONCEPTUAL SUBMITTAL
2	03.02.2020	DRB PRELIMINARY SUBMITTAL

09.02.2020
Date

1 1/2" = 1' 0"

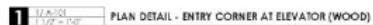
Scale

Author _____
 Drawn _____

19-10
JTB:MS

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$$\frac{3/8" = 1' 0"}{\text{Scale}}$$

Author	
Drawn	

19-15
Job No.

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Document Record

No.	Date	Description
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2	03.02.2020	DRS PRELIMINARY SUBMITTAL

LONGITUDINAL STAIR
SECTIONS AND
DETAILS

03.02.2020
Date

1/2" = 1'-0"
Scale

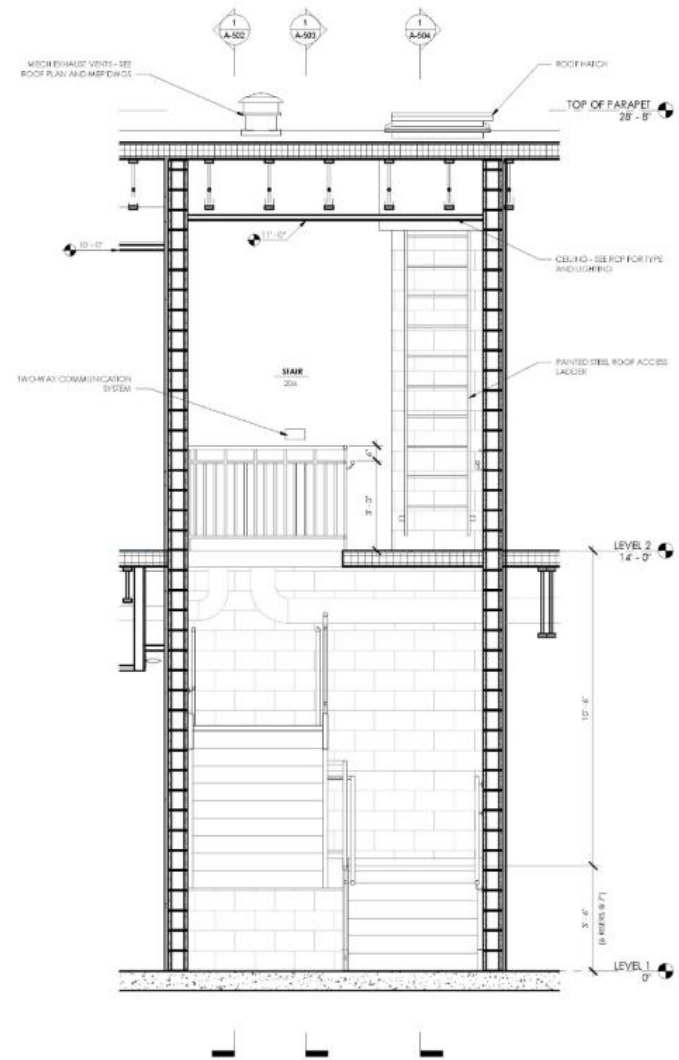
Author
Designer

10-15
Add'l Revs

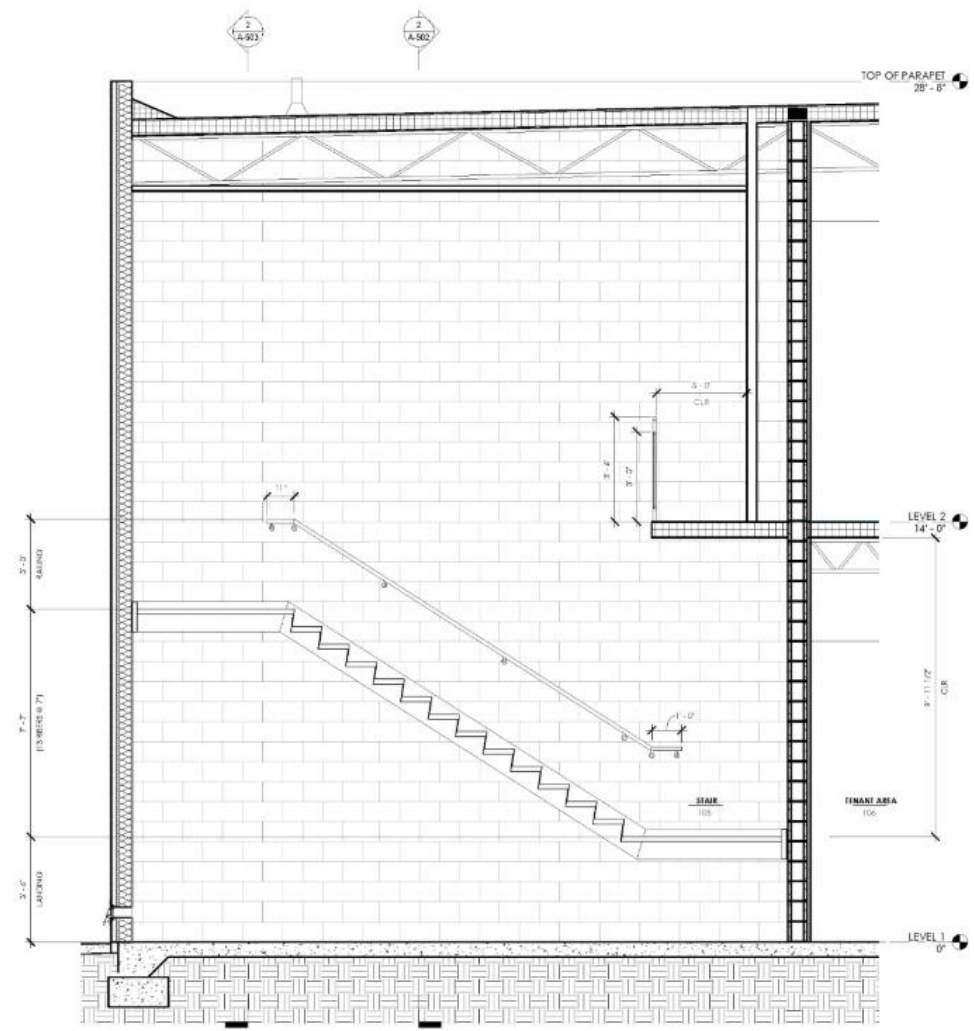
A-502

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2 TRANSVERSE STAIR SECTION



1 LONGITUDINAL STAIR SECTION - SOUTH

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BUILDING

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TRANSVERSE STAIR
SECTIONS AND
DETAILS

03.02.2020
Date

1/2" = 1'-0"

Scale

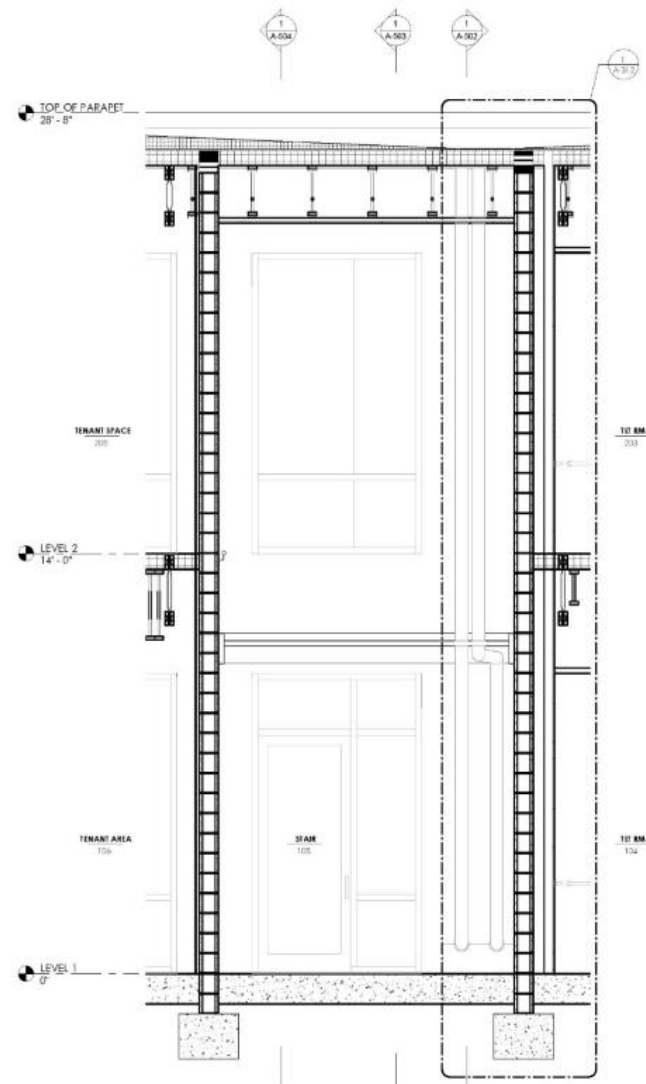
Architect
Designer

10-15
Architect

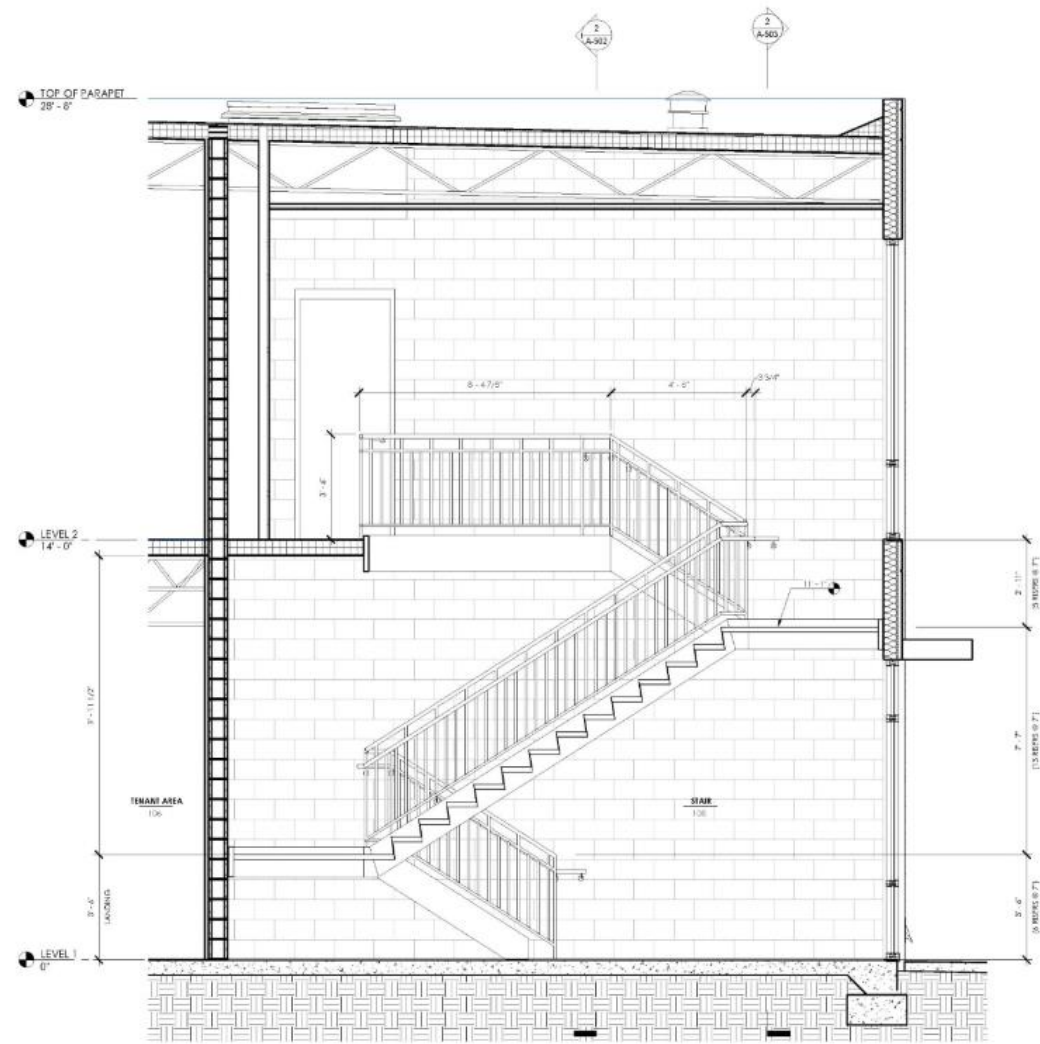
A-503

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2 1/2" = 1'-0" TRANSVERSE STAIR SECTION THROUGH LANDING



1 1/2" = 1'-0" LONGITUDINAL STAIR SECTION - NORTH AOR

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BUILDING

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2	03.02.2020	DRG PRELIMINARY SUBMITTAL



STAIR SECTIONS AND
DETAILS

03.02.2020
Date

1/2" = 1'-0"
Scale

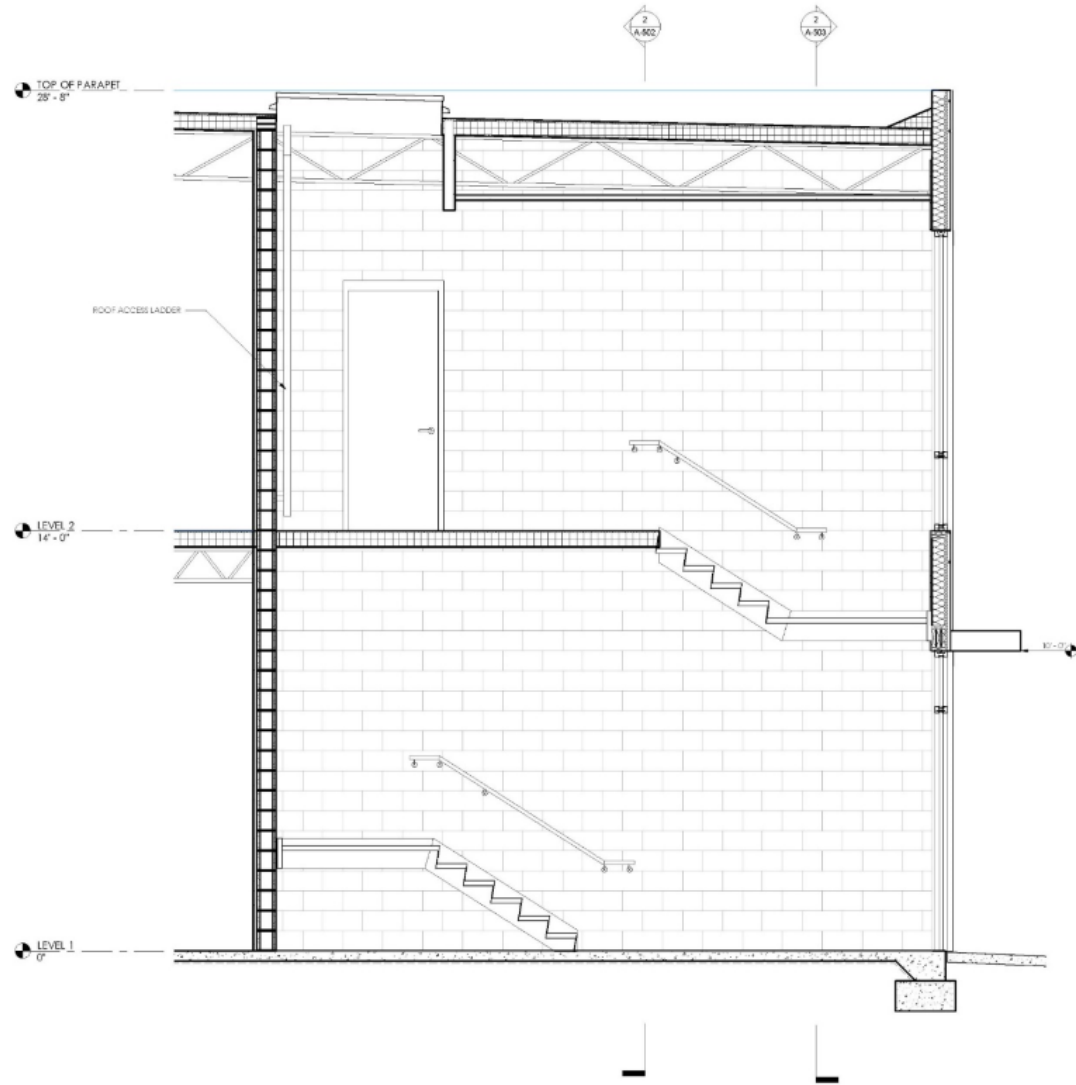
AJH/BJ
Drawn

19-15
JOB No.

A-504

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1 LONGITUDINAL STAIR SECTION - NORTH

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No.	Date	Description
1	09.11.19	DRS CONCEPTUAL SUBMITTAL
2	03.02.2020	DRS PRELIMINARY SUBMITTAL

ELEVATOR SECTIONS AND DETAILS

03.02.2020
Date

$$\frac{1/2^2 + 1/6^2}{\text{Scale}}$$

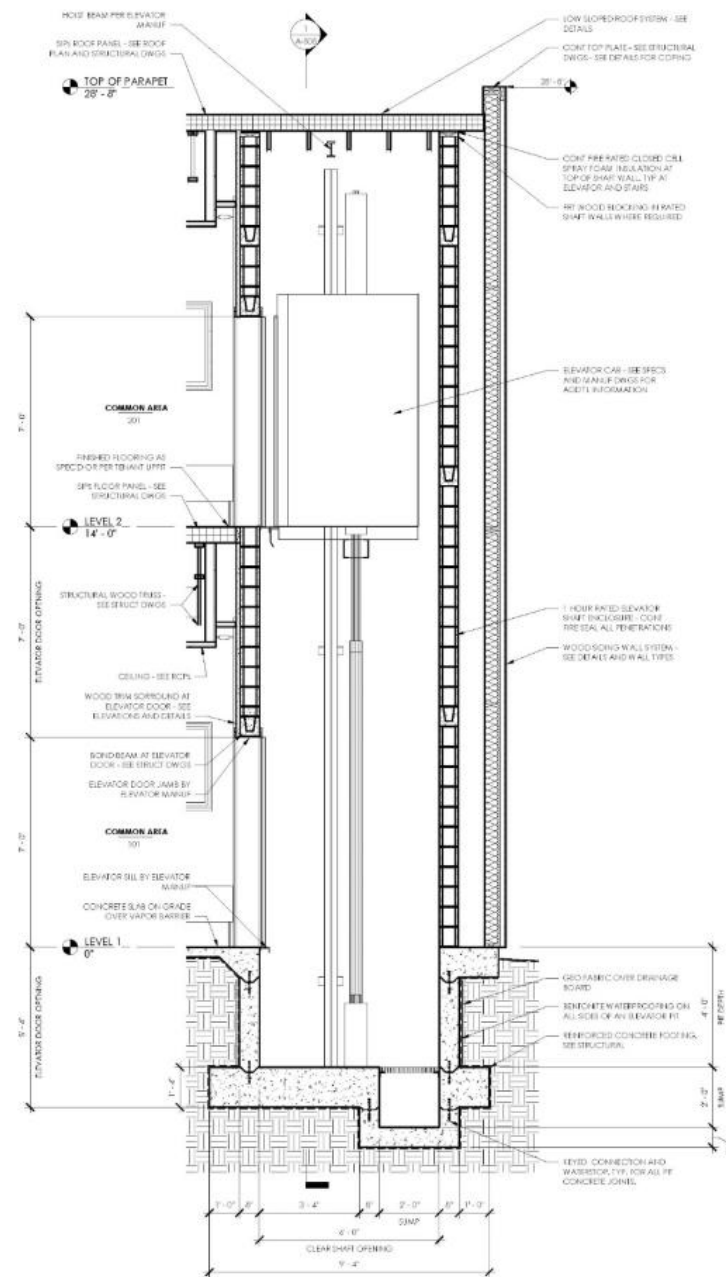
Author _____
 Drawn _____

19-10
Add 749.

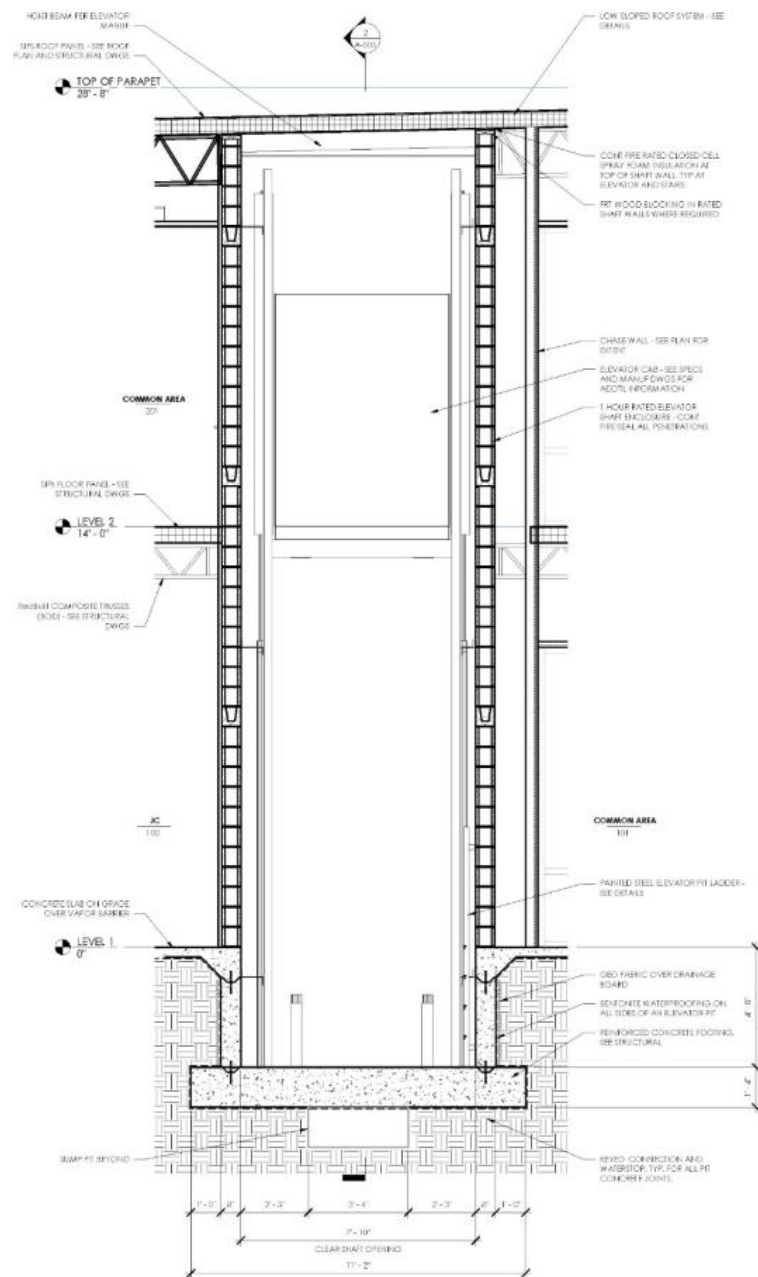
A-505

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2 1/2 A-501 TRANSVERSE ELEVATOR SECTION



1 1/4-201
LONGITUDINAL ELEVATOR SECTION

1426 MEETING STREET,
CHARLESTON, SC 29403

Document Record

No.	Date	Description
1	1/1/2020	Initial investment of \$10,000 in cash.
2	1/15/2020	Paid for office rent, \$500.
3	2/1/2020	Received from client, \$2,000.
4	2/15/2020	Paid for office supplies, \$200.
5	3/1/2020	Received from client, \$1,500.
6	3/15/2020	Paid for office rent, \$500.
7	4/1/2020	Received from client, \$3,000.
8	4/15/2020	Paid for office supplies, \$100.
9	5/1/2020	Received from client, \$2,500.
10	5/15/2020	Paid for office rent, \$500.
11	6/1/2020	Received from client, \$1,000.
12	6/15/2020	Paid for office supplies, \$50.
13	7/1/2020	Received from client, \$2,000.
14	7/15/2020	Paid for office rent, \$500.
15	8/1/2020	Received from client, \$1,500.
16	8/15/2020	Paid for office supplies, \$100.
17	9/1/2020	Received from client, \$3,000.
18	9/15/2020	Paid for office rent, \$500.
19	10/1/2020	Received from client, \$2,500.
20	10/15/2020	Paid for office supplies, \$50.
21	11/1/2020	Received from client, \$1,000.
22	11/15/2020	Paid for office rent, \$500.
23	12/1/2020	Received from client, \$2,000.
24	12/15/2020	Paid for office supplies, \$100.
25	1/1/2021	Received from client, \$3,000.
26	1/15/2021	Paid for office rent, \$500.
27	2/1/2021	Received from client, \$2,500.
28	2/15/2021	Paid for office supplies, \$50.
29	3/1/2021	Received from client, \$1,000.
30	3/15/2021	Paid for office rent, \$500.
31	4/1/2021	Received from client, \$2,000.
32	4/15/2021	Paid for office supplies, \$100.
33	5/1/2021	Received from client, \$3,000.
34	5/15/2021	Paid for office rent, \$500.
35	6/1/2021	Received from client, \$2,500.
36	6/15/2021	Paid for office supplies, \$50.
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38	7/15/2021	Paid for office rent, \$500.
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40	8/15/2021	Paid for office supplies, \$100.
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50	1/15/2022	Paid for office rent, \$500.
51	2/1/2022	Received from client, \$2,500.
52	2/15/2022	Paid for office supplies, \$50.
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54	3/15/2022	Paid for office rent, \$500.
55	4/1/2022	Received from client, \$2,000.
56	4/15/2022	Paid for office supplies, \$100.
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58	5/15/2022	Paid for office rent, \$500.
59	6/1/2022	Received from client, \$2,500.
60	6/15/2022	Paid for office supplies, \$50.
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62	7/15/2022	Paid for office rent, \$500.
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64	8/15/2022	Paid for office supplies, \$100.
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66	9/15/2022	Paid for office rent, \$500.
67	10/1/2022	Received from client, \$2,500.
68	10/15/2022	Paid for office supplies, \$50.
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70	11/15/2022	Paid for office rent, \$500.
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73	1/1/2023	Received from client, \$3,000.
74	1/15/2023	Paid for office rent, \$500.
75	2/1/2023	Received from client, \$2,500.
76	2/15/2023	Paid for office supplies, \$50.
77	3/1/2023	Received from client, \$1,000.
78	3/15/2023	Paid for office rent, \$500.
79	4/1/2023	Received from client, \$2,000.
80	4/15/2023	Paid for office supplies, \$100.
81	5/1/2023	Received from client, \$3,000.
82	5/15/2023	Paid for office rent, \$500.
83	6/1/2023	Received from client, \$2,500.
84	6/15/2023	Paid for office supplies, \$50.
85	7/1/2023	Received from client, \$1,000.
86	7/15/2023	Paid for office rent, \$500.
87	8/1/2023	Received from client, \$2,000.
88	8/15/2023	Paid for office supplies, \$100.
89	9/1/2023	Received from client, \$3,000.
90	9/15/2023	Paid for office rent, \$500.
91	10/1/2023	Received from client, \$2,500.
92	10/15/2023	Paid for office supplies, \$50.
93	11/1/2023	Received from client, \$1,000.
94	11/15/2023	Paid for office rent, \$500.
95	12/1/2023	Received from client, \$2,000.
96	12/15/2023	Paid for office supplies, \$100.
97	1/1/2024	Received from client, \$3,000.
98	1/15/2024	Paid for office rent, \$500.
99	2/1/2024	Received from client, \$2,500.
100	2/15/2024	Paid for office supplies, \$50.

ENLARGED STAIR
PLANS AND DETAILS03.02.2020
DateAs indicated
Scale

Author _____
 Design _____

19-10
 2018-19

A-506

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RAINSCREEN
SHOU SUGI BAN
BURN AND BRUSH



RAINSCREEN
SHOU SUGI BAN
GIATOR



RAINSCREEN
UNFINISHED



ALUMINIUM STAND OFF SIGN LETTER



METAL PANEL INSPIRATION
DRI-DESIGN



COMBINATION OF SHOU SUGI BAN RAINSCREEN AND METAL PANELS

BELLO GARRIS
ARCHITECTS

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843.540.3566
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1426 MEETING STREET OFFICE BUILDING

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MATERIAL INSPIRATION (G001)

03.02.2020
DATE

AS NOTED
SCALE

SURFACE
FINISH

1:2 IS
SCALE

A-901

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SHOU SUGI BAN WOOD SIDING PRECEDENT IMAGES

03.02.2020
LX00

0000

0000

12.15

0000

A-902

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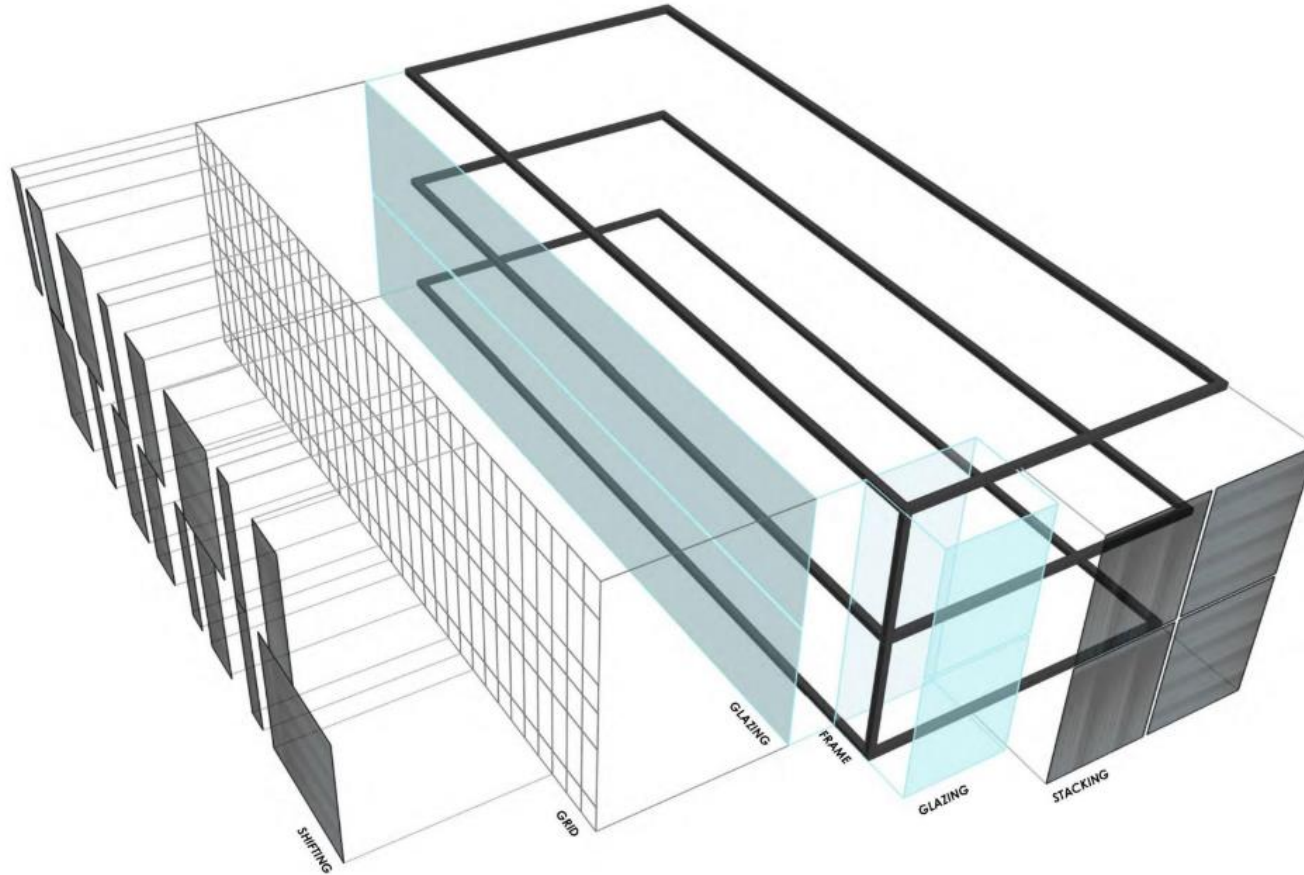
STACKING



FRAME AND GLAZING



SHIFTING



BELLO GARRIS
ARCHITECTS

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MASSING INSPIRATION (G002)

03.02.2020
Date

Scale

Author
Designer

10-15
A00-145

A-903

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**1426 MEETING STREET OFFICE
BUILDING**

1426 MEETING STREET,
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**RENDERED BUILDING
ELEVATIONS - WEST
(G101)**

03.02.2020
DATE

1:8"=1'-0"
SCALE

SURFACE
GRAPHIC

12.15
DATE

A-904

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1	05.11.19	DRB CONCEPTUAL SUBMITTAL
2	03.02.2020	DRB PRELIMINARY SUBMITTAL



RENDERED BUILDING ELEVATIONS - SOUTH (G101)

03.02.2020
DATE

1:8"=1'-0"
SCALE

SURFACE
MATERIAL

1:2"=1'-0"
SCALE

A-905

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BELLO GARRIS
ARCHITECTS

76-B SPRING STREET
CHARLESTON, SC 29403
843.540.3565
BELLOGARRIS.COM



**1426 MEETING STREET OFFICE
BUILDING**

1426 MEETING STREET,
CHARLESTON, SC 29403

Document Record

No.	Date	Description
1	09.11.19	DRS CONCEPTUAL SUBMITTAL
2	03.02.2020	DRS PRELIMINARY SUBMITTAL



**RENDERED BUILDING
ELEVATIONS - EAST
(G102)**

03.02.2020
Date

1:12" = 1'-0"
Scale

AUG 2020
Drawn

10-15
JUG 2020

A-906

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1426 MEETING STREET OFFICE
BUILDING

1426 MEETING STREET,
CHARLESTON, SC 29403

Document Record

No.	Date	Description
1	05.11.19	DRB CONCEPTUAL SUBMITTAL
2	03.02.2020	DRB PRELIMINARY SUBMITTAL



RENDERED BUILDING
ELEVATIONS - NORTH
(G102)

03.02.2020
LXGN

1/8" = 1'-0"
00338

SURFACE
00338

1/2" = 1'-0"
00338

A-907

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1	06.11.19	DRB CONCEPTUAL SUBMITTAL
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RENDERING (G111)

03.02.2020
Date:

1:12" = 1'-0"
Scale:

AUTHOR:
DESIGNER:

19.15
JOB No.:

A-908

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1426 MEETING STREET,
CHARLESTON, SC 29403

Document Record

No.	Date	Description
1	05.11.19	DRB CONCEPTUAL SUBMITTAL
2	03.02.2021	DRB PRELIMINARY SUBMITTAL



RENDERING (G112)

03.02.2021
DATE

1:12" = 1'-0"
SCALE

SURFACE
COLOR

1:2.15
SCALE

A-909

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**1426 MEETING STREET OFFICE
BUILDING**

1426 MEETING STREET,
CHARLESTON, SC 29403

Document Record

No.	Date	Description
1	05.11.19	DRB CONCEPTUAL SUBMITTAL
2	03.02.2020	DRB PRELIMINARY SUBMITTAL



RENDERING (G113)

03.02.2020
DATE

1:30 PM - 1:45 PM

03.02.20

SUBMIT
DATE

1:30 PM

DATE

A-910

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20180220 11:17:43 AM



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BUILDING

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Document Record

No.	Date	Description
1	08.11.19	DRB CONCEPTUAL SUBMITTAL
2	03.02.2020	DRB PRELIMINARY SUBMITTAL



RENDERING (G115)

03.02.2020
Date:

1:12" = 1'-0"
Scale:

Author:
Designer:

19.15
JUL No.:

A-911

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Agenda Item #5

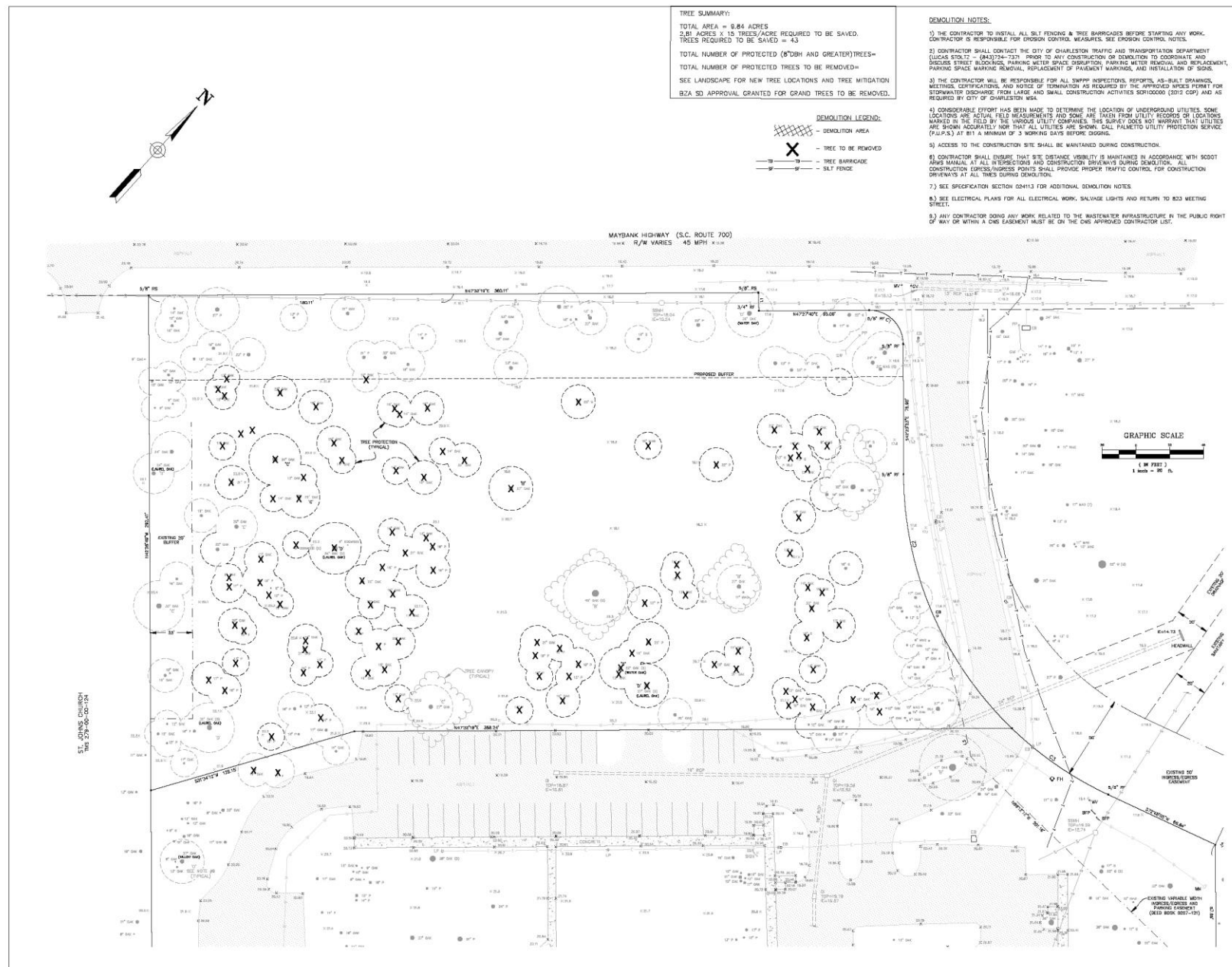
3627 MAYBANK HWY.

TMS # 279-00-00-309

Request conceptual approval for the construction of a new, 4-story, low income housing building for ages 55+ with 72-units.

ESAU JENKINS VILLAGE MULTI-FAMILY

THREE BUILDINGS @ 94,965 SF : 72 UNITS



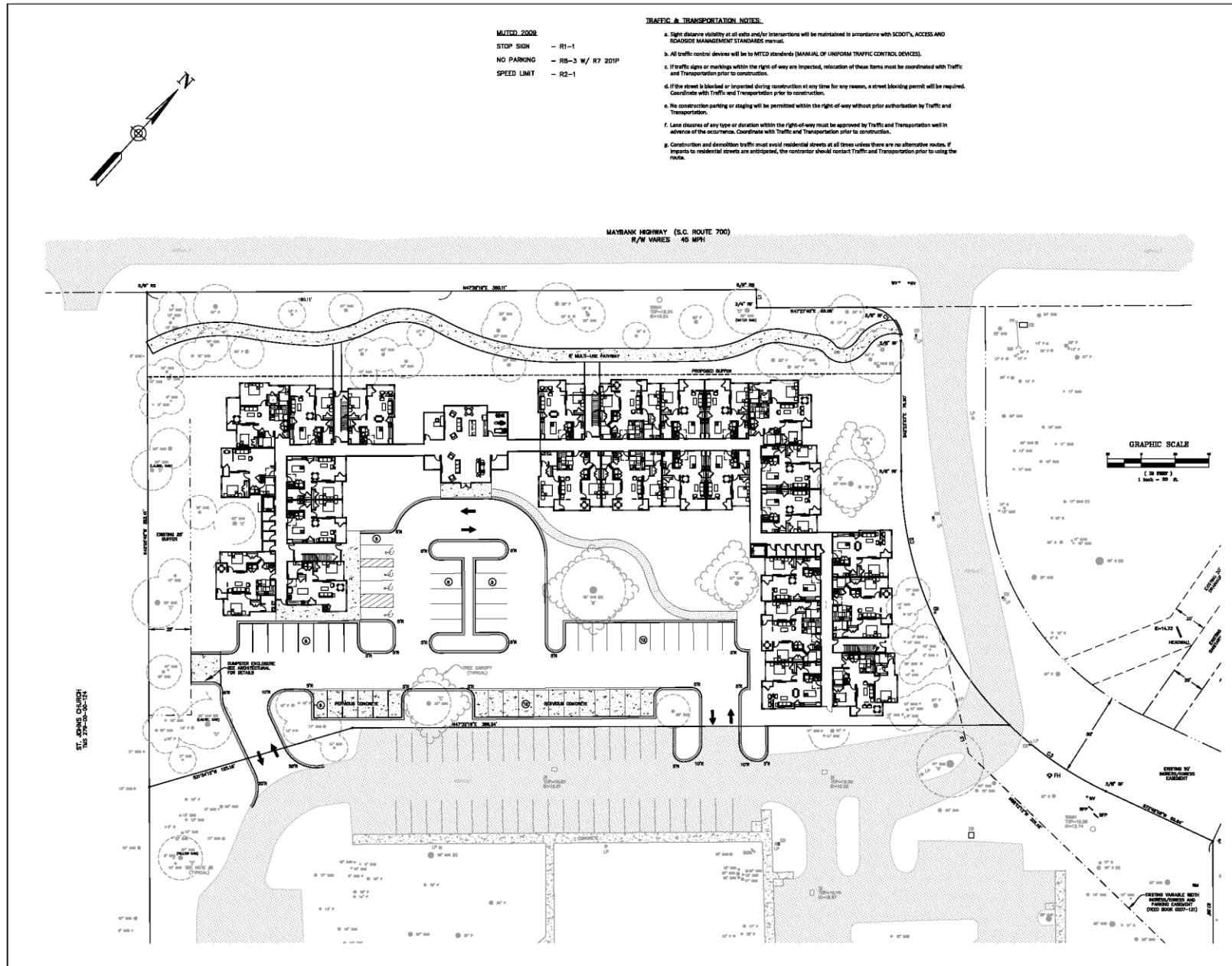
3800 Arco Corporate Drive
Suite 125, Charlotte, NC 28273
704.377.8999
www.studiofusionpa.com

**NOT FOR
CONSTRUCTION**

ESAU JENKINS VILLAGE
3647 MAYBANK HWY
JOHNS ISLAND, SC 29455

PROJECT NUMBER: 18-090
ISSUED: 2-19-20
REVISION:

DEMOLITION PLAN
C201



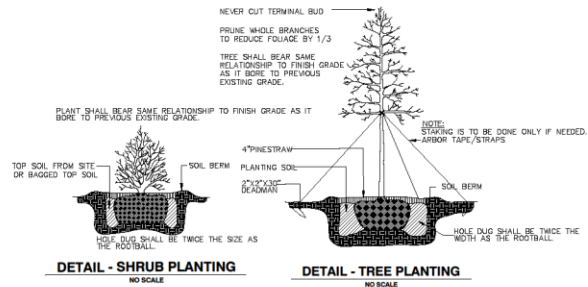
3800 Arco Corporate Drive
 Suite 125, Charlotte, NC 28273
 704-377-8700
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ESAU JENKINS VILLAGE
 3647 MAYBANK HWY
 JOHNS ISLAND, SC 29455

PROJECT NUMBER: 19-080
 ISSUED: 2-19-20
 REVISION:

NEW SITE PLAN
C301



NOTE: CONTRACTOR TO VERIFY COUNTS FROM ACTUAL PLAN.
SOL TOPSOIL, ADD 2" TO ALL PLANTED AREAS/TIL INTO EXISTING MULCH 3"SHRUBBED HARDWOOD MULCH (DARK BROWN)

TREES	PLANT SCHEDULE	COMMON NAME	HEIGHT/FEET	QUANTITY
QV	QUERCUS VIRGINIANA	LIVE OAK	25' CAL	
ID	ILIX OPACA	OPACA HOLLY	25' CAL	
BC	BETULA OPTATA	BIRCH PALM	30' T. DIAMOND CUT	
CF	CORNUS FLORIDA	DOGWOOD	27'-8"	
CV	CHONANTHUS VIRGINICUS	FRINGE TREE	6'-8"	
CO	QUERCUS CANADENSIS FOREST PANSY	FOREST PANSY REDBUD	7'-8"	
AV	JUNIPERUS VIRGINIANA	RED CEDAR	6'-8"	
SP	SABAL PALMETTO	PALMETTO	SEE PLAN	
SM	SABAL PALMETTO	DW. PALMETTO	3 CAL	
FG	FAN PALMETTO GRASS	FAN PALMETTO GRASS	3 CAL	
LQ	LOMANIA	BREEZE GRASS	3 CAL	
SNO	SWEET MIMBLE GRASS	SWEET GRASS	3 CAL	
VL	VAREGATED ONION LILY	VAR. ONION LILY	3 CAL	
VEL	VAREGATED FLAX LILY	VAR. FLAX LILY	1 CAL	
LS	LIGULSTRUM SUNSHINE	SUNSHINE LIGULSTRUM	7 CAL	
JP	LIGULSTRUM "HOOK FROST"	JACK FROST LIGULSTRUM	3 CAL	
LI	LIGULSTRUM	TRACTOR SEAT PLANT	3 CAL	
NBS	NELLIE R STEVEN HOLLY	CONICAL NELLIE HOLLY	8 FT	
JH	JORDAN PALM "JAZZ HANDS"	JAZZ HANDS LOR. ONLY	3 CAL	
W	WICKSTROMS TORONTO	WICKSTROM PALM	2 CAL	
PA	PLUMBAGO IMPERIAL BLUE	IMPERIAL BLUE PLUMBAGO	1 CAL	
LP	LIPPOI LYONS GARY	LYONS GARY LYON	8 FT	
DY	PODOCARPUS PRINCLES	DW. PRINCLES YEW	3 CAL	
RR	RHOODODENDRON RED BUTLIES	RED BUTLIES AZALEA	3 CAL	
DV	DIETES VEGATA	WHITE AFRICAN ROS	1 CAL	

- IRRIGATION NOTES:**
1. THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
 3. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
 4. ALL PLANTED AREAS SHALL BE IRRIGATED BY AN TEMPORARY LANDSCAPE IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED BY IRRIGATION CONTRACTOR.
 5. EXISTING IRRIGATION AS-BUILTS SHALL BE PROVIDED UPON REQUEST FROM OWNER. LANDSCAPE CONTRACTOR SHALL COORDINATE PIPING AND CONNECTION TO A NEW OR EX. APPROVED WATER METER.
 6. PIPE SLEEVES SHALL BE INSTALLED BY IRRIGATION CONTRACTOR AS NECESSARY. COORDINATE WITH GENERAL CONTRACTOR.
 7. IRRIGATION TIME CLOCK AND POWER SUPPLY LOCATION SHALL BE COORDINATED WITH OWNER.
 8. EXISTING ECOLOGY AND AESTHETICS WILL OFTEN CAUSE ADJUSTMENT OF THESE PLANS TO FIT SITE. STAKE OUT BY CONTRACTOR AND FIELD ADJUSTMENT BY LANDSCAPE ARCHITECT ARE ABSOLUTELY NECESSARY.
 9. IRRIGATION SYSTEM SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
 10. THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE AND/OR RESPECT UTILITY LOCATIONS IS THE SOLE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.

NOTE 1: TREES PLANTED IN THE R.O.W. MUST BE CONTAINER GROWN OR FROM AN APPROVED B & B SOURCE
TREES PLANTED IN THE R.O.W. MUST MEET ANLA NURSERY STOCK STANDARDS, AND SPECIES SELECTION MUST BE APPROVED BY THE DEPT. OF PARKS. THE CITY RESERVES THE RIGHT TO REJECT ANY STREET TREES DEEMED UNACCEPTABLE.
(STREET TREES ARE NOT TO BE STAKED UNLESS DEEMED NECESSARY)

WATERING SCHEDULE(TREES < 2" CALIPER)(REQUIRED BY LANDSCAPE CONTRACTOR)
2-3 GALLONS PER INCH OF CALIPER DAILY FOR 1-2 WEEKS.
2-3 GALLONS PER INCH OF CALIPER EVERY OTHER DAY FOR 1-2 MONTHS.
2-3 GALLONS PER INCH OF CALIPER WEEKLY FOR 2 MONTHS.
ADDITIONAL WATERING AS NEEDED THROUGH FIRST YEAR.

WATERING SCHEDULE(TREES 2"-4" CALIPER)(REQUIRED BY LANDSCAPE CONTRACTOR)
2-3 GALLONS PER INCH OF CALIPER DAILY FOR ONE MONTH.
2-3 GALLONS PER INCH OF CALIPER EVERY OTHER DAY FOR TWO TO THREE MONTHS.
2-3 GALLONS PER INCH OF CALIPER WEEKLY FOR 2 MONTHS.
ADDITIONAL WATERING AS NEEDED THROUGH FIRST YEAR.

WATERING SCHEDULE(TREES >4" CALIPER)(REQUIRED BY LANDSCAPE CONTRACTOR)
2-3 GALLONS PER INCH OF CALIPER DAILY FOR 6 WEEKS.
2-3 GALLONS PER INCH OF CALIPER EVERY OTHER DAY FOR FIVE MONTHS.
2-3 GALLONS PER INCH OF CALIPER UNTIL ESTABLISHED.

WATERING SCHEDULE(PALMETTOS)(REQUIRED BY LANDSCAPE CONTRACTOR)

WATERING IS BASED ON THE AVERAGE DAILY TEMPERATURE AND SOIL TYPE AT THE LOCATION. WATER TREE BY FLOODING SAUCER AND ALLOWING WATER TO PERK IN AND THEN FLOOD AGAIN OR PUT A HOSE ON SLOW DRIP AND SATURATE SOIL COMPLETELY
0-55 DEGREES-NO WATERING 55-70 WATER ONE TIME A WEEK.
70-85 WATER TWO TIMES PER WEEK. 85 AND UP WATER 4 TIMES PER WEEK.
SITE CONDITIONS MAY WARRANT MODIFICATIONS TO THE RECOMMENDED SCHEDULE.

ACCEPTABLE WATERING METHODS

GATOR BAGS
SAUCER WITH HAND WATERING

IRRIGATION

SOIL NOTE:

LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE TOP 4" OF FILL AROUND BUILDING AND OTHER PLANTED AREAS AND REPLACE WITH APPROVED TOPSOIL.

CLEARING OF DEBRIS

LANDSCAPE CONTRACTOR SHALL CLEAR ALL PROPOSED PLANTED AREAS OF ALL ROCKS AND DEBRIS BEFORE PLANTING.

PLANT MATERIAL

ALL PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING. PLACEMENT OF PLANTS IS ABSOLUTELY NECESSARY BY LANDSCAPE ARCHITECT. CONTACT LANDSCAPE ARCHITECT TO SCHEDULE TIME.

UNDERGROUND UTILITIES

SEE CIVIL PLANS FOR PROPOSED AND EXISTING UTILITY LINES.

LIGHTING AND IRRIGATION CONDUITS

GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE CONDUITS FOR IRRIGATION AND LIGHTING.

GUARANTEE STATEMENT

TREES WITH A CALIPER 2-3.5" WILL BE REQUIRED TO HAVE A 1 YEAR WARRANTY.
TREES WITH A CALIPER OF 4"-6" WILL BE REQUIRED TO HAVE A 2 YEAR WARRANTY.
TREES WITH A WARRANTY LARGER THAN 6" SHALL HAVE A 3 YEAR WARRANTY.
PALMETTOS WILL BE REQUIRED TO HAVE A 2 YEAR WARRANTY.

3800 Arco Corporate Drive
Suite 125, Charlotte, NC 28273
704.377.9799
www.furmanlanddesign.com

NOTE: ILLUSTRATIONS PROVIDED BY LANDSCAPE ARCHITECT ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.

NOT FOR
CONSTRUCTION

ESAU JENKINS VILLAGE
3647 MAYBANK HWY
JOHNS ISLAND, SC 29455



PROJECT NUMBER: 18-000
ISSUED: 11-18-19
REVISION:

SCHEDULE/DETAILS

L101





ESAU JENKINS VILLAGE MULTI-FAMILY



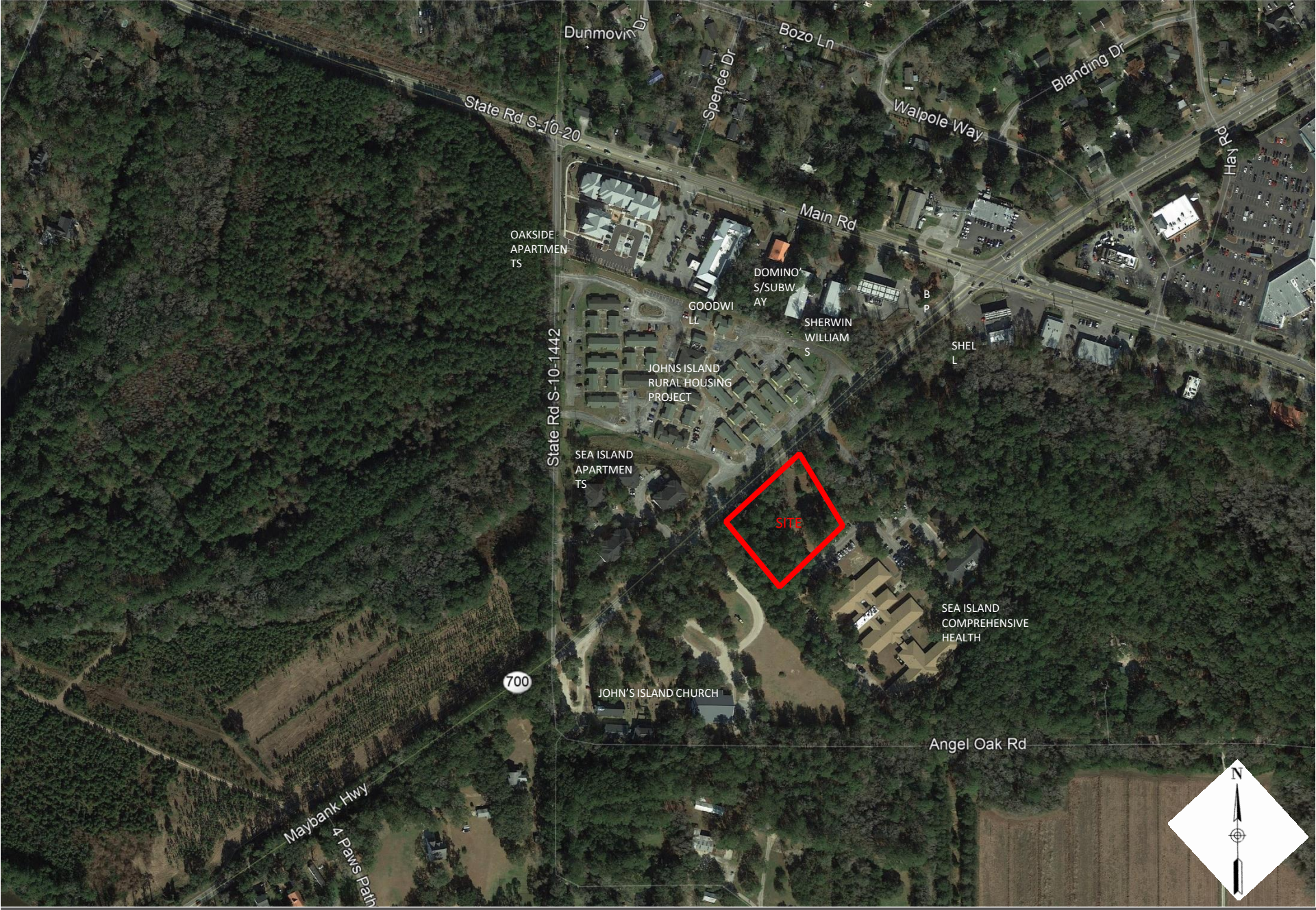




ESAU JENKINS VILLAGE MULTI-FAMILY









MEDICAL BUILDINGS NEXT TO SITE



FLATS ACROSS STREET



THREE STORY APARTMENT ACROSS STREET



THREE STORY APARTMENT ACROSS STREET



DOMINO'S/SUBWAY DOWN THE STREET



GOODWILL DOWN THE STREET



SHERWIN WILLIAMS DOWN THE STREET



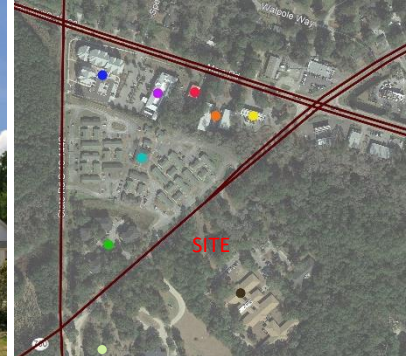
BP GAS DOWN THE STREET



THREE STORY APARTMENTS DOWN THE STREET



ST. JOHNS





ADJACENT APARTMENT COMPLEXES



SOUTHEAST PERSPECTIVE AT BUILDING
ENTRANCE



SOUTHEAST PERSPECTIVE AT BUILDING
ENTRANCE



SOUTHEAST PERSPECTIVE AT BUILDING
ENTRANCE



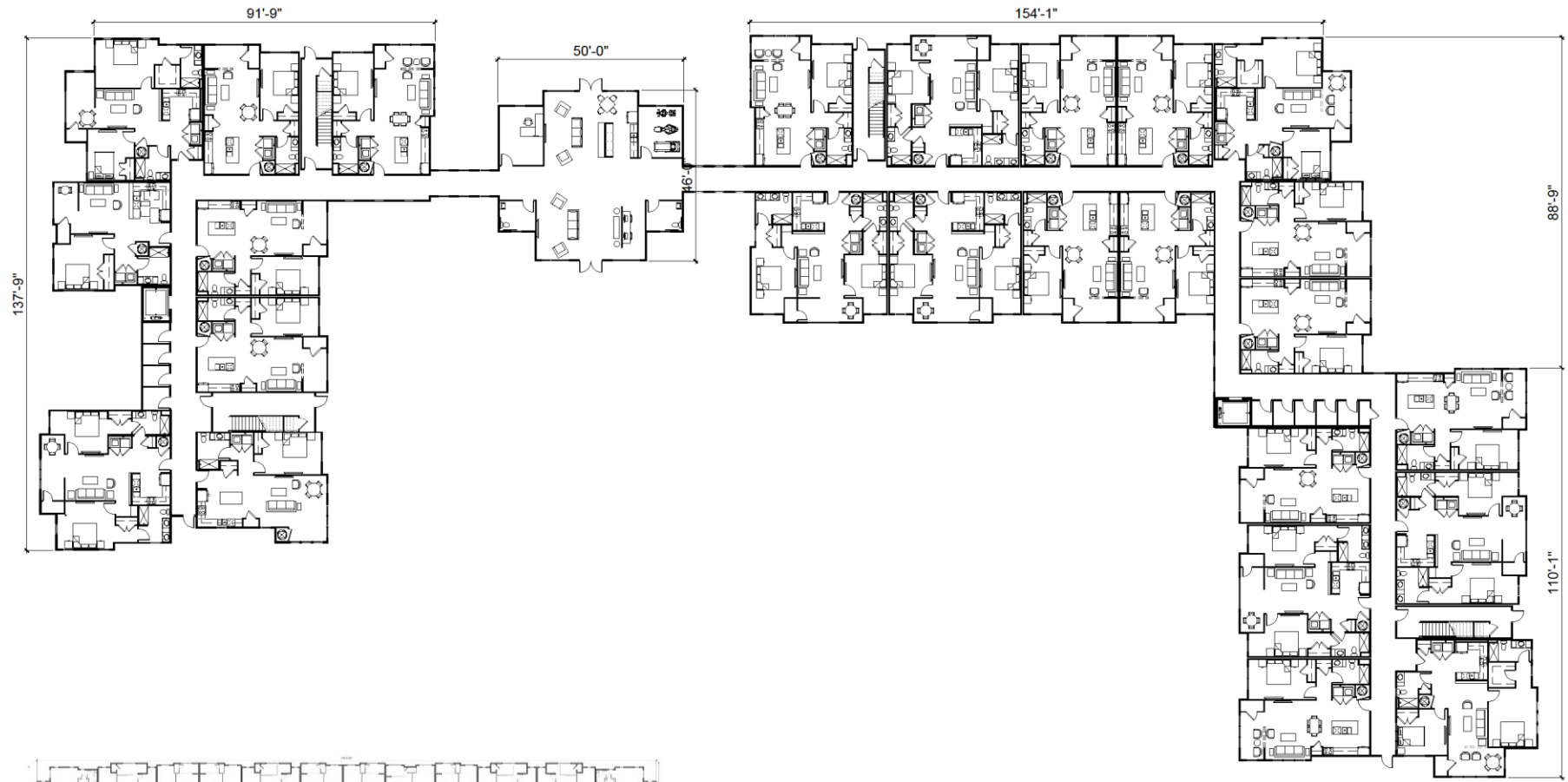
NORTHEAST PERSPECTIVE AT ENTRANCE



NORTHEAST PERSPECTIVE FROM MAYBANK
HIGHWAY



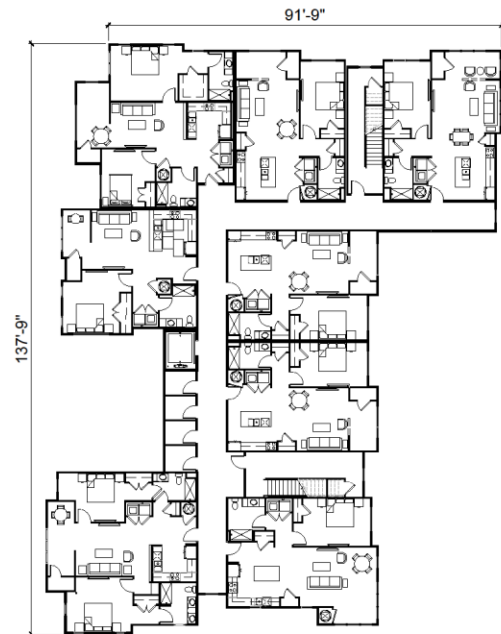




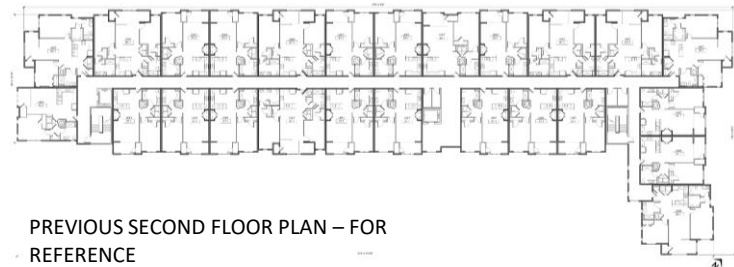
FIRST FLOOR PLAN



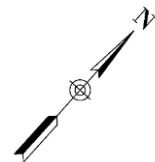
PREVIOUS FIRST FLOOR PLAN - FOR REFERENCE

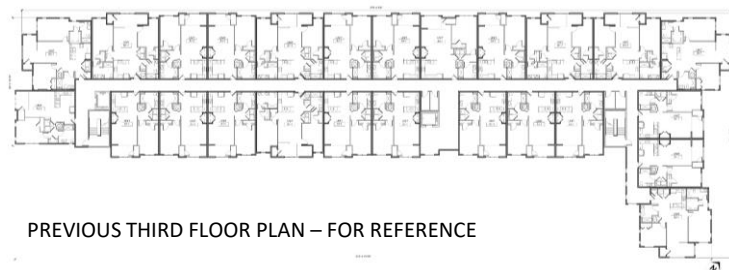
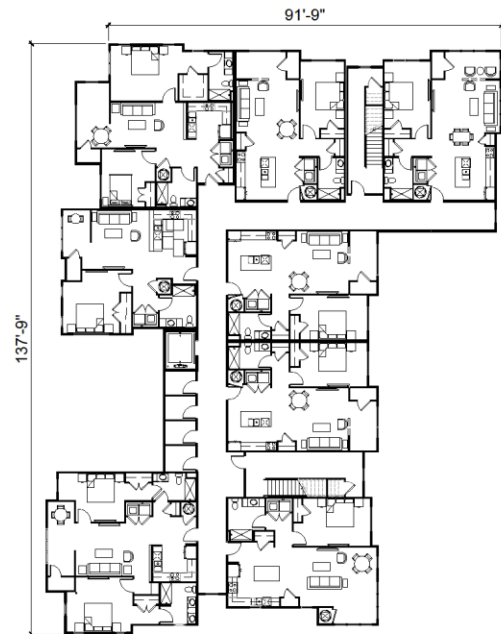


PREVIOUS SECOND FLOOR PLAN – FOR
REFERENCE



SECOND FLOOR PLAN







STANDING SEAM METAL
ROOF WITH STRUCTURAL
WOOD BRACKETS

RECESSED BLACK
VINYL
WINDOWS

LIGHT GREY
BRICK

BOARD &
BATTEN

SOUTHEAST ELEVATION



SOUTHWEST ELEVATION



ARCHITECTURAL
SHINGLES

NORTHEAST ELEVATION



STANDIN SEAM METAL
ROOF

BOARD &
BATTEN

NORTHWEST ELEVATION

Staff Comment 1 – The materials pallet could be simplified

New elevation



Previous elevation



Staff Comment 2 – In plan view, there are minimal plane changes to the front and back façade. This façade along Maybank will appear very long and flat



Staff Comment 3 – The brick on the facades that goes up and down should be simplified.



NEW SOUTHEAST ELEVATION



PREVIOUS SOUTHEAST ELEVATION

Staff Comment 4 – Make the brackets substantial enough to look as if they could support the size gable



Staff Comment 9 –Trash Enclosure: provide details for a masonry enclosure.



Staff Comment 5 – Study the window proportions and groupings. The two double hung windows together that appear as a rectangle looks odd.



Brick/Stone 30% Requirement – All Facades



Brick = 31.5%



Brick = 31.1%